

# Capital Improvement Program

Architecture & Engineering

## SCOPE REPORT

Design #: D022484

LLW #	LLW Description
133836	EXTERIOR MASONRY
133835	ROOFS



### **DIST. OFFICE #13 (OLD 9 AX) - BROOKLYN** – Building ID – **K813** - School District: 13

Report Prepared by: **CPL Architects, Engineers, Landscape Architect And Surveyors**  
SCA Design Manager: **ELIAS, ASHRAF**  
SCA Design Project Manager/Project Lead: **SOFKOSKA, TATJANA**  
Completion Date: 02/14/2024

Latest Scope Revision Date: [02/02/2024]

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**SCOPE REPORT**  
**DIST. OFFICE #13 (OLD 9 AX) - BROOKLYN, Building ID: K813**  
**Design #: D022484 LLW#(s): 133836,133835**

**A. PROJECT INFORMATION**

**1. Project Data:**

LLW	LLW Description	Funding Source	Cap Cat	Filing Req'd? Y/N
133836	EXTERIOR MASONRY	6E1	1E5	Y
133835	ROOFS	6E1	1E1	Y

School Address	355 PARK PLACE, Brooklyn, NY 11238
School District	13
Block No.	1160
Lot No.	1
School Custodian Telephone	718-638-3260
Priority	
Inspection Date	12/22/2023
Persons Contacted	Brendan Lynch, Custodian
Building Ownership	DOE
Person(s) Performing Site Inspection	D. Hunsberger, J. Polanco, C. Topol
Report Prepared By	D. Hunsberger, A.L. Lara, CPL Architects, Engineers, Landscape Architect and Surveyors
SCA Senior Project Officer	TBD
SCA Project Officer	TBD
SCA Design Manager	ELIAS, ASHRAF
SCA Design Project Manager/Lead	SOFKOSKA, TATJANA
Scope Reviewer	TBD

**2. Schedule:**

- a) Design (including filing and review): 6 months.
- o Required Regulatory Agency and Utility Filings & Approvals: SHPO
  - o SCA Design Reviews: Y 50%, 100%

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o Additional Investigation: None

b) Bidding & Award (from turnover to *Contractor* NTP): 3 months.

c) Construction (from Contractor NTP to Substantial Completion): 6 months.

**3. General Phasing Issues**

a) Typical School Hours (during school year and summer): N/A

b) Contractor Allowable Working Hours (during school year and summer: N/A

c) Temporary Facilities: Sidewalk bridging, and access sheds will be required.

d) Impacts on Use of Outdoor Spaces: Scaffolding will impact the vehicular access at North and part of the parking lot located at East.

e) Impacts on Use of Occupied Interior Spaces: No disruption to interior spaces.

f) Swing Space: No swing space is required.

**4. Critical Phasing Issues**

a) Is it anticipated that the proposed scope of work will require removal and replacement of existing roof structure(s) or complete exterior wall(s), exposing the building interior to the exterior elements? N

b) Is it anticipated that the proposed scope of work may generate excessive noise or other disturbances that could affect school operations during normal school hours? N

c) If a Flood Elimination or Flood Mitigation project, is it anticipated that the proposed scope of work may affect existing boilers, water heater(s) or other critical equipment at the Basement or Cellar Level? N

d) Is it anticipated that the proposed scope of work could require temporary closing of an existing Public Assembly Space during school hours (such as a Cafeteria, Gymnasium, Auditorium, etc.)? N

e) Is it anticipated that the proposed scope of work near MTA/LIRR tracks could affect operation of tracks? (Y/N) N

f) Is it anticipated that the proposed scope of work could impact the school's egress capabilities during construction requiring approval of a temporary egress plan? N

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g) Is there a D75 (Special Education) component in the school? (Y/N) \_\_\_\_\_ **N**

If the answer to any of the questions in 'a' through 'g' above is 'yes', is a design alternate possible to avoid interruption to the school? \_\_\_\_\_ **N/A**

If a Design alternate is not feasible, is CM /DOE involvement required to find alternate swing space? \_\_\_\_\_ **N/A**

Party(s) responsible to pursue phasing issues with CM/DOE: \_\_\_\_\_ **P.O.**

**5. License Agreements with Adjoining Property Owners:**

Any project that includes exterior building work and/or site work may require License Agreements with adjoining property owners.

- a) Is it anticipated that the proposed scope of work will require excavation and/or sheeting and shoring near a common property line with adjacent properties? (Y/N) \_\_\_\_\_ **N**
- b) Is it anticipated that the proposed scope of work could require construction access over or through adjacent properties to perform the work or require protection of adjacent properties during construction operations (ZPP)? (Y/N) \_\_\_\_\_ **N**

**6. Parks Department Coordination:**

- a) Is there work to or work affecting a Parks Department property or Jointly Operated Playground (JOP)? (Y/N) \_\_\_\_\_ **N**
- b) Is there work on the school building or school site/playground that will affect or require protection of a JOP or Parks Department Property? (Y/N) \_\_\_\_\_ **N**

**7. SHPO Eligibility:**

**K813 – Eligible**

- a) Is the Building over 45 years old? \_\_\_\_\_ **87**
- b) If over 45 years old, was there a previous Preliminary SHPO Submission? (Y/N) \_\_\_\_\_ **Y**
- c) If no previous SHPO determination, will a Preliminary SHPO Submission be required for this project? \_\_\_\_\_ **N**
- d) Indicate SHPO Status: \_\_\_\_\_ **Eligible**
- e) If determined by SHPO to be "National Register Eligible" (aka "SHPO Eligible"), is the proposed work of type that a Detailed (50%) SHPO Submission will be required for this project? \_\_\_\_\_ **Y**

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**8. E – Designation:**

Is the Building within an E-Designation zone as indicated in zoning regulations?  
(Y/N) \_\_\_\_\_ **N**

**9. Zoning Override:**

Will the proposed work require an override? (Y/N/TBD) \_\_\_\_\_ **N**

**10. Flood Zone:**

- a) Is the building in a Flood Zone as determined from FEMA’s “Preliminary Work Map” or its successor? (Y/N) **N/A**
- b) If yes, what is the Flood Zone Designation [Provide flood zone designation or NA] \_\_\_\_\_ **NA**
- c) If yes, what is the Base Flood Elevation (BFE)? [Provide BFE in NAVD '88 or NA]. \_\_\_\_\_ **NA**
- d) If within a Flood Zone, is the project’s scope of work affected by the building being within the Flood Zone requiring mitigation? (Y/N) \_\_\_\_\_ **N**
- e) If within a Flood Zone, is the cost of the project’s scope of work potentially above the threshold requiring building to comply with Appendix G of the NYC Building Code (50% of the buildings market value)? (Y/N) \_\_\_\_\_ **N**

**11. DEP Permit/Filing:**

Will the project be requiring filing with the DEP? (Y/N) \_\_\_\_\_ **N**

**12. Municipal Separate Storm System (MS4) Area and Unified Stormwater Rule (USWR):**

- a) Is the building in an MS4 area? (Y/N) **N**
- b) If yes, is the proposed work affecting a surface that will collect and discharge water into the storm sewer system or have direct discharge into a waterway?  
(Y/N) \_\_\_\_\_ **N/A**
- c) If yes to item a, does the proposed work include more than 20,000 SF of ground disturbance, thereby requiring a Stormwater Pollution Prevention Plan (SWPPP)?  
(Y/N) \_\_\_\_\_ **N/A**
- d) Is the building in a combined sewer area and the proposed work include more than 20,000 SF of ground disturbance, thereby requiring a Stormwater Pollution Prevention Plan (SWPPP)? (Y/N) \_\_\_\_\_ **N**

**13. FDNY Filing:**

Will filing with the FDNY be required for the project? (Y/N) \_\_\_\_\_ **N**

**14. DOT Permit/Filing:**

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Does the project require filing with DOT as a permit to do the work is required?  
 (Y/N/TBD) \_\_\_\_\_ **N**

**15. Utility Filing:**

Does the project require ConEd or National Grid approval? (Y/N) \_\_\_\_\_ **N**

**16. Assistive Listening System (ALS):**

a) Is an ALS proposed in this project? (Y/N) \_\_\_\_\_ **N**

b) If yes, complete the table below with an “X” to mark the type of device (induction loop, FM, infrared or other system type) for each location proposed to receive an ALS and the total construction cost\* of the ALS for that location.

	FM System	Induction Loop	Infrared System	Other Type (Describe Type of System)	Total Assistive Listening System Construction Cost*
Cafeteria					
Auditorium					
Gymnasium					
Gymnatorium					
Multipurpose Room					
Dance studio					
Security/Reception Desk **					
Other ( )					

\*Cost shall be the associated cost estimate of the system, including the cost of the device, related work and installation.

\*\*Micro-loop required when Induction Loop is installed in an assembly space.

**17. Existing Solar Installation:**

Are there existing solar panels at the site that will be impacted by the project?  
 (Y/N) \_\_\_\_\_ **N**

**18. Artwork:**

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- a) Is there any Artwork listed in the PAPS database for this school? (Y/N) \_\_\_\_\_ **N**
- b) Based on the meeting with PAPS, will the Artwork be affected by the project (This includes scaffolding, sidewalk sheds, equipment storage, transport and staging areas) (Y/N) \_\_\_\_\_ **N**
- c) Is there any artwork in the school that is not in the PAPS database that will be affected by the work (This includes scaffolding, sidewalk sheds, equipment storage, transport and staging areas)? (Y/N) \_\_\_\_\_ **N**

**19. Energy Code Commissioning:**

- a) Will the project require System Commissioning per Section C408 of the 2020 NYC Energy Code? (Y/N) \_\_\_\_\_ **N**
- b) If no, will the project have HVAC control work using Section 15975 or renewable energy systems work with a generating capacity of less than 25 kW that require Quality Control Commissioning? (Y/N) \_\_\_\_\_ **N**

**20. Local Law Applicability:**

- a) Are there applicable Local Laws affected by the project? (Y/N) \_\_\_\_\_ **N**
- b) If yes, provide the Local Law number and local law description: (Y/N) \_\_\_\_\_ **N**

**21. Path of Travel Applicability:**

When project work affects usability of a Primary Function Area (PFA), the project may be Path of Travel (PoT) Applicable. For PoT applicable projects, additional funds must be provided (up to 20% of the value of the alterations affecting the area of primary function) to provide an accessible PoT to that altered area. Answer the following questions to determine whether the subject project is PoT Applicable.

- a) **Is the project specifically to provide Program Accessibility, per 2010 ADA sect. 35.150 or solely to improve accessibility per BC 1101.4 Exception 3?**  
(Yes/No) \_\_\_\_\_ **No** If yes, go to (f) answer "No". If no, continue.
- b) **Does the project include any work to a PFA?**  
PFAs include areas inside or outside where student's educational programs take place, including staff offices students may visit.  
(Yes/No) \_\_\_\_\_ **No** If no, go to (f) answer "No"; if yes, continue.
- c) **Does any of the work meet the ADA definition of an Alteration?**  
Per ADA, alterations include, but are not limited to, remodeling, renovation, rehabilitation, reconstruction, historic restoration, resurfacing of circulation paths or vehicular ways, changes or rearrangement in the plan configuration of walls and full height partitions. Normal maintenance, reroofing, painting, or changes to mechanical and electrical systems are not alterations unless they affect the usability of the building.  
(Yes/No) \_\_\_\_\_ **No** If no, go to (f) answer "No"; if yes, continue.
- d) **Does any of the work affect the usability of, or access to, the altered PFA?**  
Usability means there is a requirement in ADAAG for the element (i.e. sinks, doors, work surfaces, floor surfaces, etc.)  
(Yes/No) \_\_\_\_\_ **No** If no, go to (f) answer "No"; if yes, continue.





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<b>B. COST SUMMARY OF RECOMMENDATIONS (Refer to Appendix for Scope Estimate)</b>								
LLW #	Description	DOE Auth. Construction Estimate	SCA Scope Construction Estimate (A)	Asbestos (B)	Labor Premium (C)	Custodian & Security (D)	Adjusted Construction Estimate A-(B+C+D)	F & E
<b>DOE Referred Items (Including Related Violations):</b>								
133836	EXTERIOR MASONRY	\$1,103,821	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	
133835	ROOFS	\$814,743	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	
Total for DOE Items		\$ 1,918,563	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	
<b>Resolution "A" Referred Items:</b>								
Total for Resolution "A" Items:								
<b>SCA Additional Recommended Items:</b>								
Total Additional Recommended Items		\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	
Total (DOE Referred Items and Additional Recommended Items):		\$ 1,918,563	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	

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<b>C. VARIANCE BETWEEN DRAFT SCOPE AND FINAL SCOPE COST ESTIMATES</b>					
LLW #	LLW Description	Draft Scope Construction Estimate	Final Scope Construction Estimate	Variance	Comments for Variance
<b>DOE Referred Items (Including Related Violations)</b>					
133836	EXTERIOR MASONRY	\$ 0	\$ 0	\$ 0	
133835	ROOFS	\$ 0	\$ 0	\$ 0	
<b>Total For DOE Items</b>		\$ 0	\$ 0	\$ 0	
<b>Additional Recommended Items</b>					
<b>Total for Additional Recommended Items</b>					
<b>Total (DOE Referred Items and Additional Recommended Items):</b>					

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D. ADDITIONAL ITEMS JUSTIFICATION FORM AND PRIORTIZATION FORM						
Project Information						
	To Mitchell Redelick, Senior Director, Capital Planning			DATE		
SCHOOL/BORO	DIST. OFFICE #13 (OLD 9 AX) - BROOKLYN			DESIGN NO		D022484
Design Project Manager	ELIAS, ASHRAF			DPM/PROJECT LEAD	SOFKOSKA, TATJANA	
PROJECT DESC	ROOFS/EXTERIOR MASONRY					
DOE Referred Items						
LLW#	LLW Description	BCAS Rating	DOE Authorized Construction Estimate	SCA Scope Construction Estimate	Reason Code	Justification/Comments
133836	EXTERIOR MASONRY	Bcas rating	\$1,103,821	SCA Scope Est		
133835	ROOFS	Bcas rating	\$814,743	SCA Scope Est		
Additional Recommended Items						
					1-7	
					1-7	
					1-7	
					1-7	
					1-7	
<b>CONSTRUCTION TOTALS</b>						
<b>TOTAL</b>						

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**\*Reason Code Examples**

1. Component Rating averaged - Certain of this component are in Poor Condition and must be addressed.
2. Component Rating averaged - Critical parts of system or assembly must be addressed.
3. Component is integrally involved with the work or protection of the base project; doesn't make sense to leave it.
4. Component must be done in order to close out the base project.
5. Condition has active life safety, health, or water infiltration issues.
6. BCAS rating was wrong; actual condition is Poor.
7. BCAS rating was poor, but component wasn't included in the plan Component

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PRIORITIZATION FORM												
Is there an existing Sidewalk Bridge? (Y/N): ___N___												
Is a sidewalk bridge required to be installed to mitigate an immediate hazard? (Y/N): ___N___												
Will a Sidewalk Bridge be required for the proposed Work? (Y/N): ___N___												
Does the proposed CIP project involve Work on a new school building or addition completed less than 10 years ago? (Y/N): _____N_____												
Does the proposed OP project address area(s) or component(s) in the building that were the subject of Capital Project(s) completed less than 5 years ago? (Y/N): _____N_____												
LLW No.	LLW Description & Selected Node(s) (Indicate the 'BCAS Rating' for each node or component in the next column),e.g. <b>Parapets: 133836 Exterior Masonry 133835 Roofs</b>	BCAS RATING	Is there an existing Potentially Hazardous Condition related to this LLW?		Is there a Critical Life Safety issue that would be corrected by this LLW?		Is there Active Water Infiltration related to the LLW?		Is there any Other Critical Condition related to this LLW?		Describe Potentially Hazardous Condition, Critical Life Safety or Other Critical Condition (Include comments to clarify conditions and identify recommended stabilization methods, if applicable)	
			(Y/N)	Has it been stabilized? (Y/N)	(Y/N)	Has it been stabilized? (Y/N)	(Y/N)	Criticality Level* (1, 2,3) Or NA	(Y/N)	'Criticality Level' (1, 2, 3) Or NA		
DOE Referred Items (Including Related Violations)												
133836	EXTERIOR MASONRY		N	NA	N	NA	N	NA	N	N	Stone repointing, replacement of window sealant, stucco finish repair, and stone cracks and missing stone repair.	
133835	ROOFS		N	NA	N	NA	N	NA	N	NA	No work is required	
SCA Additional Recommended Items												
NA	PARAPETS		N	NA	N	NA	N	NA	N	NA	No work is required.	
NA	WINDOWS		N	NA	N	NA	N	NA	N	NA	No work is required.	
NA	EXTERIOR DOORS		N	NA	N	NA	N	NA	N	NA	No work is required.	
NA	FLOOD ELIMINATION		N	NA	N	NA	N	NA	N	NA	No work is required.	
*Criticality Level Definition:												
1 - Condition severely impacts the educational operation. Student/Staff area is unusable.												
2 - Condition moderately impacts the educational operation. Condition continues to deteriorate but student/staff area is still usable. 3- Condition has minimal impact to the educational operation, or the space affected is not a student/staff area.												
Form completed by: D. Hunsberger							Date:	02/14/2024				
Form reviewed and approved by: Ashraf Elias, PE							Date:					

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**E. OUTSTANDING VIOLATIONS** (Refer to Appendix for Printouts of Open Violations)

**Open DOB/ECB Violations Addressed as Follows:**

Violation No. Description	Not in Scope (Use Code Below)	Included in Referred Item (Indicate by 'X')	Comment(s)
<b>10444</b> <b>VIOLATION ISSUED-FAILURE TO FILE 2022 EXTERNAL LOW-PRESSURE INSPECTION</b>	<b>D</b>		

- **A** – Previously Corrected or Work in Progress. Note D# of Pertinent Project in Comments.
- **B** – Currently in Scope, Design or Pre-Award Stages. Note D# of Pertinent Project in Comments.
- **C** – DoED Operational Item / Non-Construction Related.
- **D** – Not Related to Referred Item(s).

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**F. BUILDING HISTORY**

**Introduction:**

School Name	DIST. OFFICE #13 (OLD 9 AX) - BROOKLYN
Building ID	K813
List of Organization(s)	ACADEMY OF HEALTH CAREERS - K, ALC-PARK PLACE ACADEMY, ALC - FUNDAMENTAL ACADEMY, DISTRICT OFFICE #13 - BROOKLYN, DISTRICT OFFICE 13 (335 PARK)
Organization ID	K751, K952, K988, KADM, KD13
Student Population	N/A
Staff Population	35
Grades Served	N/A

Year of Original Building Completion: 1938  
Architect Name: Aymar Embury II

Year of Completion of Addition 1: N/A  
Architect Name Addition 1: N/A

Year of Completion of Addition 2: N/A  
Architect Name Addition 2: N/A

**Description of the Existing Building:**

*See Reference Drawings R001 to R004 (Existing Floor Plans) and R005 to R006 (Existing Building Elevations) in the Appendix*

- Number of Floors: 2+B+BH
- Gross Building Area: 14,000 SF
- Accessibility: The building is undergoing an ADA upgrade, it will be accessible from street level to first floor through a ramp, there is no elevator.
- List of Public Assembly Spaces and Locations:   N/A
- Number of Classrooms:   N/A
- Building Structural System (typical framing, floor, and roof construction): Load bearing exterior masonry wall with concrete beam and concrete floor construction.
- Exterior Wall System(s): Solid masonry with limestone and granite panels.
- Window/Glazing Systems (window type(s) and glazing): Aluminum-Double Hung.
- Roofing System(s): Built-Up with Insulation and Gravel.
- Building Accessibility Profile: N/A



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**Description of Site:** *See Site Plan Reference Drawing R001 in the Appendix*

- **Key Site Features:** The site is flat and occupies the Southwest corner of Park Place and Underhill Avenue.
- **Surrounding Streets:** The main entrance of the building faces South onto Park Place. The parking lot access also faces South onto Park Place and a secondary access to the property faces West onto Underhill Avenue.
- **Site Accessibility:** The site is accessible from two sides: South and West. There is a fence delimitating the building property, leaving service access at the very end of the property area at the West and a parking lot access at the South, with a main access located at the building's main entrance at Park Pl.
- **Site Utilization (playgrounds, athletic fields, parking, etc.):** There is a small parking lot located in the East side of the property.
- **Landscaping:** Grass yards are located between the building and the property line on the West and South Façade at the Southwest corner of the building, as well in the East Façade next to the parking lot.
- **Site Paving:** The area surrounding the building at the North and East sides, where the parking lot and service access are located, is paved.

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**Building Information**

Building ID	Building Name	Building Address	Geo Dist
K813	DIST. OFFICE #13 (OLD 9)	355 PARK PLACE, Brooklyn,	13

**Active Organization(s):**

Org ID	Org/School Name
K952, K988,	ALC-PARK PLACE

**In-Active Organization(s):**

Org ID	Org/School Name
KD13	DISTRICT OFFICE 13 (335)

<b><u>MS4 (Municipal Separate Storm Sewer System)</u></b>	N	<b><u>Flood Zone:</u></b>	N/A
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<b><u>SHPO</u></b>	Eligible
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<b><u>Roof Guarantee*</u></b>	Active	Guarantee on File:	N/A	Expiration:	2029
Guarantee No	Manufacturer	Comments	Spec		
G2009-	N/A	170	4GIG		

**Sister School(s) - <Building Type or None>**

N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

<b><u>Cinder Concrete</u></b>	SCA – Cinder Concrete Project	Design/LLW #			
Original Design	Addition 1	Addition 2	Addition 3	Addition 4	Addition 5

**JOP - Jointly Operated Playground with Department of Parks**

Park Location	Park Sign Name	GIS Prop Num	Park size (Acres)	Other Bldgs
N/A	N/A	N/A	N/A	N/A

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Asbestos FREE Building\*

Construction Year

N/A

Construction Year

N/A

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**List of Projects by DSF/DOE (Pre 1989)**

Year of Constr. Completion	In SCA EDOCS Files	Year of Document Completion	Project Description	Architect
	9	1975	Mod 1	

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**List of Previous Projects (Post 1989)**

Design #	LLW #	LLW Description	NTP Date	Construction Completion Date	Closeout Completion Date	A&E Archive Files
D006122	022288	LL 41/16 COMPLIANCE	06/20/2001			5
D011263	049147	WINDOWS	07/02/2008			26
D011263	051233	ROOFS	07/02/2008			26
D011263	051234	PARAPETS	07/02/2008			26
D016802	097732	ELECTRICAL LIGHTING FIXTURES	09/23/2015			0
	119479	LBP COMMON SPACES - MULTI-PURPOSE ROOM				0
	121522	LBP COMMON SPACES - LIBRARY				0

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**List of In-Progress and Planned Renovation Projects:**

Year of Projected Constr. Completion	Year of Projected Design Completion	Project Description	SCA Design/LLW# (if applicable)
-	-	ROOFS	133835
-	-	EXTERIOR MASONRY	133835
	2022	MAIN ENTRANCE ADA UPGRADE	130061

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**G. FINDINGS AND RECOMMENDATIONS**

**Executive Summary**

The following provides overall background information on the extent of work proposed for the DOE Referred and SCA Additional Recommended Items to bring the building envelope of this school into good repair and eliminate water infiltration.

CPL Architecture and Engineering has been tasked with working on roofs, and exterior masonry components within the Five-Year Capital Plan. On December 22<sup>nd</sup>, 2023, CPL and school personnel conducted a site visit to observe the condition of the exterior elements at the school and determine if there are any immediate hazardous conditions.

The building went through a full modernization in 1975 in project D001270, which included façade restoration. Additional major exterior work at windows, parapets and roofs was made in 2008 in project D011263, including replacement of original windows, parapet replacement, exterior masonry work, and installation of new roofs.

Although the designated DOE Referred Work as requested by DSF was limited to Exterior Masonry and Roofs only, a comprehensive review of the other components under this and all other Building Envelope Categories was undertaken to determine if additional work is recommended now or in the near future to bring the building envelope into good, watertight condition. The findings and recommendations under each Building Envelope Category are summarized below and described further in the detailed “Findings” and “Recommendations” later in this section of the report.

**DOE Referred Items**

**1.1. Description/LLW#: Exterior Masonry/133835**

Some chipped, spalled, and broken limestone and granite pieces, as well as cracks, missing stone, and deteriorated stone joints grout, were observed in all the facades of the building. Water damage at stucco finish on bulkhead exterior wall and damage to interior plaster and window jambs was noted at bulkhead level.

It is recommended to repoint all joints at stone with mortar that matches existing color at all facades. Areas of cracks, chips and missing stones at the limestone and granite, are recommended to be repaired, restored, and patched with restoration mortar to match existing. It is recommended to remove and repaint existing anti-graffiti coating in all facades. Areas of damage at bulkhead, including stucco finish wall and interior plaster will be fixed, and exterior and interior bulkhead walls will be painted.

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**1.2. Description/LLW#: Roofs/133836**

The existing roofs were replaced in 2008 during project D011263. The restoration project was completed in 2009 by Imperium Construction and is under warranty until 2029. The building's main roof (BUR) and bulkhead roof (liquid membrane) are in good condition. Minor damage was observed but no leaks were reported. The roof membrane, drains, flashing and terminations are in good condition and there is no water infiltration noted by the custodian. No work is required at this time.

**SCA Additional Recommended Item SCA 3.1 Parapets**

Parapets were observed to be in good condition. Parapet masonry was replaced, and new railings were installed in project D011263 in 2010. No leaks or water infiltration were observed or reported. Some deteriorated mortar was observed at the coping bed joints. Parapet cap flashing is present and in good condition. No water was observed in the walls below due to parapet defects. Roof barriers were observed to be in good condition. No work is required at this time.

**SCA Additional Recommended Item SCA 3.2 Windows**

All windows were replaced with new aluminum double hung windows, and window guards were installed in 2008, during project D011263.

Aluminum double hung windows were observed in good condition. No water infiltration was observed or noted by the custodian.

The window guards were observed to be in good condition.

Exterior stucco damage was observed around the penthouse window perimeter. Damage is related to flashing and will be addressed under Exterior Masonry.

**SCA Additional Recommended Item SCA 3.3 Exterior Doors**

Exterior doors and frames are painted hollow metal. Doors are operable and in overall good condition. Hardware in good condition. No issues reported by Custodian. No work is required at this time.

**SCA Additional Recommended Item 3.4 (Below Grade) Flood Elimination**

The assistant custodian noted that there has been water infiltration in the basement affecting Storage Rm. B4, along Park Place, southwest corner of the building. Paint, plaster finishes and door water damage from the water infiltration was observed in some of the basement rooms.



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The ongoing accessibility project has removed the original granite entry steps and landing, and are rebuilding new concrete steps, ramp and landing at the building. This issue and interior damage caused by the water infiltration should be addressed by the current contractor (LLW #130061).

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**1. DOE Referred Items:**

**1.1 Description/LLW#: Exterior Masonry/133835**

**Node(s): 220013 Exterior Walls**

LLW	Description	Nodes	Node Description
133836	EXTERIOR MASONRY	220013	Architectural  Exterior  Exterior Walls

**Introduction**

*The Building Condition Assessment Survey (BCAS) notes the following condition ratings and deficiencies:*

- *Exterior Walls: 3 – Poor. Brick: major/thru cracks. Stone: deteriorated joints, chipped/spalled/broken pieces – major. Stucco cement surface: water infiltration in instructional space, cracks, spalling.*
- *Louvers: 2 – Between Good and Fair. No deficiencies recorded.*
- *Chimney(s): 2 – Between Good and Fair. No deficiencies recorded.*
- *Exterior Soffits: Noted not to exist at this building.*
- *Awnings & Canopies: Noted not to exist at this building.*
- *Areaways (Drains, Gratings, Slabs, Railings, Stairs & Walls): 3 – Fair. Areaway walls: cracks and spalling.*
- *Loading Dock: Noted not to exist at this building.*
- *Stairs/Ramps:*
  - *Building Cheek/Flank Walls: 3 – Fair. Cast in place concrete: cracks/spalling – major.*
  - *Railings: 4 – Between Fair and Poor. Concrete: cracks/spalling – major.*
  - *Stairs/Ramps: 4 – Between Fair and Poor. Concrete: cracks/spalling – minor.*

**Findings:**

**A. Exterior Walls**

**1) South Façade:**

- a. Bottom granite masonry base has been painted from the grade level to a point 6' above the ground. Peeling anti-graffiti coating was observed. **(Photos M01, M03, M07, M12, M19, M20)**

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- b. Deteriorated mortar joints were observed. **(Photos M03, M04, M05, M08, M17, M18, M19)**
- c. Cracks and chipped stone on granite panels were observed. **(Photo M06)**
- d. Areas with missing stone were observed. **(Photos M06, M10, M12, M13, M14)**
- e. Deteriorated brick masonry was observed above the main access door. **(Photo M16)**

2) West Façade:

- a. Bottom granite masonry base has been painted, peeling anti-graffiti coating was observed. **(Photos M37, M40, M42)**
- b. Deteriorated grout joints were observed. **(Photo M39)**
- c. Halfmoon shaped missing stone on granite panels and on masonry base were observed. **(Photo M43, M46)**

3) North Façade:

- a. Bottom granite masonry base has been painted, peeling anti-graffiti coating was observed. **(Photos M29, M34, M35, M36, M37, M40)**
- b. Deteriorated grout joints were observed. **(Photos M30, M31, M33)**
- c. Cracks and chipped stones on limestone were observed. **(Photos M30, M32)**

4) East Façade:

- a. Bottom granite masonry base has been painted, peeling anti-graffiti coating was observed. **(Photos M20, M21)**
- b. Deteriorated grout joints were observed. **(Photos M16, M25)**
- c. Cracks and flakes on granite panels and limestone were observed. **(Photos M18, M22, M23, M24, M28)**
- d. Deteriorated brick wall was observed above access door. **(Photo M26)**

B. Louvers

- 1) Louvers were observed to be in good condition.

C. Chimney(s)

- 1) Three flues were observed in a stucco coated chimney enclosure on the NE corner of bulkhead roof BH1. The enclosure, lead coated copper cap and the roof flashing at its base was observed to be in good condition. **(Photo R19)**

D. Exterior Soffits – Does not exist at this building.

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- E. Awnings & Canopies – Does not exist at this building.
- F. Areaways (Drains, Gratings, Slabs, Railings, Stairs & Walls)
  - 1) The areaways were observed to be in poor condition. Some deterioration and cracks in concrete were noted.
- G. Loading Dock – Does not exist at this building.
- H. Stairs/Ramps (Stairs/Ramps, Building Cheek/Flank Walls, Railings)
  - 1) Building Cheek/Flank Walls: Were noted to be in fair condition, minor cracks and spalling in concrete were observed. **(Photos M02, M21)**
  - 2) Railings: Observed to be in fair condition, the railings are securely mounted and 42” above the platform. **(Photo M26)**
  - 3) Stairs/Ramps: The original granite main entrance stairs have been removed, and a new concrete ramp, stairs and landing are under construction as part of the current ongoing Accessibility project LLW#:130061. A temporary access and stairs were built as part of the egress plan for the ongoing project. A gap between the building foundation and the new concrete landing platform at the front entrance was observed. **(Photos S01, S02, S03, M44, M45)**
- I. Interior Damage
  - 1) The custodian reported water infiltration into the basement storage room B4. The water damaged the painted concrete wall and soffit finish and the wood door to the storage room. The open joint between the new concrete landing and the foundation noted above in H3 is located right above the location of the water penetration. **(Photos A08, A09, A15, A16, A17)**
  - 2) Damage to plaster soffit from a leaking interior plumbing piping was noted close to the interior stair in the basement. No active leak was observed, and this damage appears to be related to interior plumbing defects not exterior water infiltration. **(Photos A06, A07, A10)**
- J. Other Collateral Impacts
  - 1. Plumbing – N/A.
  - 2. Mechanical
    - a. There is a split system condenser with condensate piping and electrical conduit mounted on the NW corner of the building. The unit can remain during exterior paint removal, prep, and recoating with anti-graffiti coating. Unit will not interfere with planned work.
  - 3. Electrical
    - a. There are 21 window AC units on the building, on the north façade and 1 wall mounted. 3 AC units on the west façade, 2 units on the east façade and 8 on the south façade. Wall

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mounted conduit and piping for these units is run on the surface of the building.

- b. Some wires were observed to be located at the building face at the East corner.
4. Other – N/A.

**Recommendations:**

A. Exterior Walls

1) South Façade:

- a. Scrape, prepare and apply new anti-graffiti paint up to 10' above finish. **(421 SF)**
- b. Repair existing granite panels with specified matching mortar. **(6 SF)**
- c. Repair cracks at granite, fill with specified epoxy grout to match existing color. **(2 LF)**
- d. Repoint joints at stone to match existing color. **(1,235 LF)**
- e. Replace window sealant, scrape, prep, and paint all exposed steel lintel. **(494 LF)**
- f. Deteriorated brick above main access door is recommended to be repointed. **(60 SF)**

2) West Façade:

- a. Scrape, prepare and apply new anti-graffiti paint up to 10' above finish. **(303 SF)**
- b. Repair existing granite and stone panels with specified matching stone repair mortar. **(6 SF)**
- c. Repoint joints at stone to match existing color. **(720 LF)**
- d. Replace window sealant, scrape, prep, and paint all exposed steel lintel. **(342 LF)**

3) North Façade:

- a. Scrape, prepare and apply new anti-graffiti paint up to 10' above finish. **(516 SF)**
- b. Repair cracks at limestone, fill with color grout to match existing color. **(8 LF)**
- c. Repoint joints at stone to match existing color. **(1,200 LF)**
- d. Replace window sealant, scrape, prep, and paint all exposed steel lintel. **(552 LF)**

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4) East Façade:

- a. Scrape, prepare and apply new anti-graffiti paint up to 10' above finish. **(264 SF)**
  - b. Repair cracks at granite, fill with specified epoxy grout to match existing color. **(18 LF)**
  - c. Repair cracks at limestone, fill with color grout to match existing color. **(3 LF)**
  - d. Repoint joints at stone to match existing color. **(745 LF)**
  - e. Replace window sealant, scrape, prep, and paint all exposed steel lintel. **(236 LF)**
  - f. Deteriorated brick above access door is recommended to be repointed. **(20 SF)**
- B. Louvers: No work is required at the louvers at this time.
- C. Chimney(s): No work is required at the chimney at this time.
- D. Exterior Soffits: Does not exist at this building.
- E. Awnings & Canopies: Does not exist at this building.
- F. Areaways (Drains, Gratings, Slabs, Railings, Stairs & Walls): No work is required at the areaways at this time.
- G. Loading Dock: Does not exist at this building.
- H. Stairs/Ramps (Stairs/Ramps, Building Cheek/Flank Walls, Railings):
- 1) No work is required at the Stairs/Ramps, Building Cheek/Flank Walls, Railings at this time.
- I. Interior Damage: Plaster damage from water infiltration at the stucco areas on at bulkhead window perimeters was observed. Damage included flaking plaster and peeling paint 12" from window jamb. **(111 SF)**
- K. Other Collateral Impacts
1. Plumbing: No work is required at this time.
  2. Mechanical
    - a. Disconnect and reconnect power to split system condensers mounted on buildings. (2 units)
  3. Electrical
    - a. Remove window AC (19 units), store units during sealant removal, and reinstall after work is completed.
    - b. Disconnect and reconnect power to split system condensers mounted on buildings (2 units).

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- c. Existing wires will remain in place and be protected during repointing.
- 4. Other – N/A.

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**1.2 Description/LLW#: Roofs/133836**

**Node(s): 220023 Roof/Roofing**

LLW	Description	Nodes	Node Description
133835	ROOFS	220023	Architectural  Exterior  Roof  Roofing

**Introduction**

There are two roofs in the building: one (1) main roof (BUR with gravel) and one (1) bulkhead roof (liquid membrane) above the main roof. Both roofs were installed in 2009 and are under warranty until 2029. The roof membrane, drains, flashing and terminations are in good condition, minor damage at base flashings was observed but no leaks were reported. No signs of water infiltration have been noted by the custodian or observed during our site visit.

*The Building Condition Assessment Survey (BCAS) notes the following condition ratings and deficiencies:*

- *Roofing*
  - *Roofing Membrane: 3 – Fair. Built-Up base flashing deteriorated.*
  - *Flashing: No BCAS ratings are provided.*
  - *Roof Drains: 2 – Between Good and Fair. No deficiencies recorded.*
  - *Leaders, Gutters, Downspouts & Scuppers: Noted not to exist at this building.*
  - *Hatches (Roof/Smoke): 2 – Between Good and Fair. No deficiencies recorded.*
  - *Ladders and Ladder Safety Cages: No BCAS ratings are provided.*
  - *Roof Barriers & Fences: Roof Barrier: 2 - Between Good and Fair. No deficiencies recorded. Fences: Noted not to exist at this building.*
  - *Roof Cages: Noted not to exist at this building.*
- *Roofing Specialties*
  - *Bulkhead/Penthouse:*
    - *Roofs: 2 - Between Good and Fair. No deficiencies recorded.*
    - *Walls: Stucco Cement Surface: Water Infiltration in Instructional Space, Cracks, Spalling.*
    - *Windows: No BCAS ratings are provided.*
  - *Bulkhead Doors: No BCAS ratings are provided.*



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- *Cupola/Spires/Towers: Noted not to exist at this building.*
- *Dormers: Noted not to exist at this building.*
- *Dunnage Steel: Noted not to exist at this building.*
- *Skylights/Roof Vents: Noted not to exist at this building.*
- *Roof Gravity (Water) Tank: Noted not to exist at this building.*
- *Plaza Deck: Noted not to exist at this building.*

**Findings:**

**A. Roofing**

1. Roofing Membrane: Existing gravel ballasted built up roofing and insulation at Roof A are in good condition. The roof is currently under warranty until 2029.  
  
A cold fluid applied membrane roof is on the bulkhead roof. Roof BH-1 is in very good condition. Field membrane, transitions and flashings were observed to be intact and in good condition. **(Photos R03, R04, R07, R08, R10, R11, R17)**
2. Flashing: Existing membrane base flashings at the built-up Roof A had some deterioration of sealant at lap joints. No holes or gaps were observed. **(Photos R05, R06)**
3. Roof Drains: All the roof drains were observed to be in good condition. **(Photos R01, R09, R20,)**
4. Leaders, Gutters, Downspouts & Scuppers: Does not exist at this building.
5. Hatches (Roof/Smoke): A smoke hatch is located in the SE corner of bulkhead roof BH-1. The hatch was replaced in 2009 in project D011263. The hatch was observed to be in good condition and no problems were reported by the Custodian. **(Photo R18)**
6. Ladders and Ladder Safety Cages: A ladder extends from Roof A up to Bulkhead roof BH-1. The galvanized steel ladder was installed in 2009 and was observed to be in good condition. **(Photos P08, M49)**
7. Roof Barriers & Fences: A parapet mounted roof barrier is located at the perimeter of Roof A. The barrier is galvanized steel and was observed to be in good condition. Barrier was installed in 2009 in project D011263 and is located 44" above the finished roof surface. **(Photos P04, P05, P06, P07)**
8. Roof Cages: Does not exist at this building.

**B. Roofing Specialties**

1. Bulkhead/Penthouse:
  - Roofs: The bulkhead roof BH-1 is cold fluid liquid applied roof and was observed to be in good condition. Field, terminations, and flashings

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were all intact and in good condition. **(Photos R12, R13, R14, R15, R16, R17, R18)**

- Walls:
  - a. West Bulkhead Façade: Stucco finish above the bulkhead door was observed was stained and discolored indicating water penetration behind the finish coat. **(Photos M47, M48)**
  - b. North Bulkhead Façade: The stucco finish was discolored, cracked, and had missing pieces at the perimeter of three windows. The stucco discoloration started at the window heads and continued down the window jambs 6"-8" from the windows. **(Photos M49, M50, M51, M52, M53, M54, R07)**
  - c. East Bulkhead Façade: Missing and damage to the exterior stucco finish surrounding the window due to water infiltration was observed. **(Photo M54, M55, R11)**
  - d. South Bulkhead Façade: The exterior stucco finish was observed to be in fair to poor condition, deteriorated and cracked stucco finish was observed on this façade. **(Photos R08, R10)**
- Windows: Damage to the stucco finish at the window perimeters appears to be caused by lack of flashing stucco termination at window heads. No head flashing was observed at the window head on all windows in the bulkhead. **(Photos M51, M55)**
- Bulkhead Doors: The bulkhead door was observed to be in good condition. **(Photos M48)**
- Interior Damage: Interior plaster finish damage surrounding windows was observed. **(Photos A36, A37, A38, A39)**
- 2. Cupola/Spires/Towers: Does not exist at this building.
- 3. Dormers: Does not exist at this building.
- 4. Dunnage Steel: Does not exist at this building.
- 5. Skylights/Roof Vents: Roof Vents were observed to be in good condition. **(Photos R02, R13)**
- 6. Roof Gravity (Water) Tank: Does not exist at this building.
- C. Plaza Deck – Does not exist at this building.
- D. Interior Damage: No interior damage was noted at this time.
- E. Other Collateral Impacts
  - 1. Plumbing – N/A
  - 2. Mechanical – N/A
  - 3. Electrical – N/A

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4. Other – N/A

**Recommendations:**

A. Roofing

1. Roofing Membrane: Routine maintenance of exposed seams at membrane base flashing transitions at Roof A is recommended. Seals should be resealed. Roof is still under warranty.

No work is required at the cold applied fluid membrane at the Bulkhead roof BH-1.

2. Flashing: No work is required at this time.
3. Roof Drains: No work is required at the roof drains at this time.
4. Leaders, Gutters, Downspouts & Scuppers: Does not exist at this building.
5. Hatches (Roof/Smoke): Does not exist at this building.
6. Ladders and Ladder Safety Cages: No work is required at the ladder at this time.
7. Roof Barriers & Fences: No work is required at the roof barrier at this time.
8. Roof Cages: Does not exist at this building.

B. Roofing Specialties

1. Bulkhead/Penthouse:

- Roofs: No work is required at the bulkhead roof BH-1 at this time.
- Walls: All this work will be included in the Exterior Masonry work.

a. West Bulkhead Façade:

- i. Remove existing damaged stucco at door head and jamb down to terra cotta backup wall approximately 12” above door head and jambs. Apply a stainless-steel flashing bead at the door head and lap and extend head flashing membrane out 12” from the bead. Install new stainless steel casing beads at the head and jambs with a minimum 1/4” clearance from the head flashing angle. Install new base and finish stucco coats up to casing beads. Keep gap between the head flashing and casing bead open for drainage **(20 SF)**
- ii. Existing stucco wall should have a new colored top coating applied to match the other repaired sides. **(Recoat stucco finish to match existing color: 278 SF)**

b. North Bulkhead Façade:



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- Bulkhead Doors: No work is required at the bulkhead door at this time.
- Interior Damage: All this work will be included in the Exterior Masonry work.
  - a. Repair interior plaster finish, prep and paint entire wall to match existing. **(25 SF of plaster patching and 1753 SF of painting)**
- 2. Cupola/Spires/Towers: Does not exist at this building.
- 3. Dormers: Does not exist at this building.
- 4. Dunnage Steel: Does not exist at this building.
- 5. Skylights/Roof Vents: No work is required at this time.
- 6. Roof Gravity (Water) Tank: Does not exist at this building.
- C. Plaza Deck: Does not exist at this building.
- D. Interior Damage: No work is required at this time.
- E. Other Collateral Impacts
  - 1. Plumbing – N/A
  - 2. Mechanical – N/A
  - 3. Electrical – N/A
  - 4. Other – N/A

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2. Resolution “A” Items: N/A

3. SCA Additional Recommended Items:

**3.2 Description: Parapets**

**Introduction**

The parapets at the roof and bulkhead are in good condition. Parapet masonry was replaced, and new roof barriers were installed in 2009. There are no leaks or water infiltration observed or reported. Although some deteriorated mortar was observed at the coping bed joints, the overall condition of the parapets, roof barriers and cap flashing, is good.

*The Building Condition Assessment Survey (BCAS) notes the following condition ratings and deficiencies:*

- *Parapets: 2 - Between Good and Fair. No deficiencies recorded.*
- *Copings: 3 – Fair. Cast Stone: Deteriorated Bed Joint.*
- *Cornices: Noted not to exist at this building.*

**Findings:**

A. Parapets: Three courses of brick were exposed above the stainless steel thru wall flashings for the roof termination on the interior face of the parapets for Roof A. Mortar joints at these brick areas were observed to be in good condition. Conduit for security lighting and roof barriers are anchored on the interior face of the parapets. Parapets were noted to be in good condition. **(Photos P01, P02, P03, P07)**

Interior parapet faces of the Bulkhead roof BH-1 parapet were coated with liquid applied roofing membrane from transition at the base to tops of the wall under the copings on the interior faces.

B. Copings: Copings on Roof A are 7” x 14” blocks of cut stone. Copings all have stainless steel cap flashings installed below. Stone is the original coping that was cleaned and reinstalled in 2009 in project D011263. Coping and transverse joints were observed to be in good condition. Some deterioration of the bed joints was observed. **(Photos P08, P09)**

The copings at the bulkhead roof BH-1 were lead coated copper snap lock copings. Copings were installed in 2009 and are in good condition.

C. Cornices: Does not exist at this building.

D. Interior Damage: No interior damage was noted to be resultant of parapet defects.

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E. Other Collateral Impacts

1. Plumbing – N/A
2. Mechanical – N/A
3. Electrical – N/A
4. Other – N/A

**Recommendations:**

- A. Parapets: No work is required at parapets at this time.
- B. Copings: No work is required at this time.
- C. Cornices: Does not exist at this building.
- D. Interior Damage: No interior work is required at this time.
- E. Other Collateral Impacts
  1. Plumbing – N/A
  2. Mechanical – N/A
  3. Electrical – N/A
  4. Other – N/A

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### 3.4 Description: Windows

#### Introduction

The building underwent a full window replacement project in 2009 in project D011263, LLW# 049147. Windows are double hung aluminum replacement windows. Air conditioning units are mounted in the upper sash of some of the windows.

*The Building Condition Assessment Survey (BCAS) notes the following condition ratings and deficiencies:*

- *Windows: 3 – Fair. Aluminum - Double Hung, all facades: Broken pane, air/water infiltration, deteriorated joints with damaged caulking, and inoperable balance.*
- *Exterior Guards: 2 - Between Good and Fair. No deficiencies recorded.*
- *Interior Guards: No BCAS ratings are provided.*
- *Shades: No BCAS rating is provided.*
- *Lintels: 2 - Between Good and Fair. No deficiencies recorded.*

#### Findings:

##### A. Windows:

- a. Aluminum double hung replacement windows were observed to be in good working order with no surface defects or deteriorated finishes. Interior trim was in good condition and firmly anchored. Window seals and glazing elements are in good condition. Custodian noted that some balances are old and require replacement. **(Photos M01, M02, M18, M19, M20, M21, M27)**

##### B. Exterior Guards:

- a. Window guards were installed on the windows of the first floor and basement at West, East and South facades, and in all the windows at North façade. Guards were replaced in 2009 and area all expanded metal type protectives. The guards were observed to be in good condition. **(Photos M29, M30, M31, M32, M33, M34, M36, M38)**

C. Interior Guard: No window interior guards were observed in this building.

D. Shades: No window shades were observed at this building.

E. Lintels: Window lintels were observed to be in good condition.

F. Interior Damage:



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- a. Interior damage due to window defects was observed at all the bulkhead windows.

**G. Other Collateral Impacts**

- 1. Plumbing – N/A
- 2. Mechanical – N/A
- 3. Electrical – N/A
- 4. Other – N/A

**Recommendations:**

**A. Windows:**

- a. No work is required for the windows at this time. Exterior sealant at the perimeter of the windows in all facades will be removed and replaced as part of the exterior masonry repointing work. This scope is covered in Exterior Masonry.

**B. Exterior Guards:**

- a. Window guards will be removed, stored, and reinstalled to complete the repointing work on the façades. This work scope is described in Exterior Masonry. An allowance for replacement of stone damaged during the removal and reinstallation of the anchors for the existing guards will be included under this work scope in Exterior Masonry.

**C. Interior Guards:** No window interior guards were observed in this building.

**D. Shades:** No window shades were observed at this building.

**E. Lintels:** No work is required at this time.

**F. Interior Damage:** No work is required at this time.

**G. Other Collateral Impacts**

- 1. Plumbing – N/A
- 2. Mechanical – N/A
- 3. Electrical – N/A
- 4. Other – N/A

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### **3.5 Description: Exterior Doors**

#### **Introduction**

There are 2 original exterior entrances to K813, and one more temporary entrance created as part of the egress plan solution needed for the ongoing project LLW#:130061. All doors and frames are hollow metal. All exterior doors are in good condition.

*The Building Condition Assessment Survey (BCAS) notes the following condition ratings and deficiencies:*

- *Doors & Frames: 4 - Between Fair and Poor. Metal Clad: Deteriorated Door and Frame – Major Deterioration. Metal: Deteriorated Door and Frame - Minor Deterioration*
- *Door Hardware: 3 – Fair. No deficiencies recorded.*
- *Transom/Side Lights: Noted not to exist at this building.*
- *Lintels: 2 - Between Good and Fair. No deficiencies recorded.*

#### **Findings:**

- A. Doors & Frames: Doors and Frames were observed to be in fair to good condition. Main entrance doors and frame are being replaced in the ongoing accessibility project. (LLW #130061)
- B. Door Hardware: Door hardware was noted to be in good condition.
- C. Transom/Side Lights: No transom/side lights were observed at this building.
- D. Lintels: Lintels were observed to be in good condition.
- E. Interior Damage: No interior damage was noted at this time.
- F. Other Collateral Impacts
  - 1. Plumbing – N/A
  - 2. Mechanical – N/A
  - 3. Electrical – N/A
  - 4. Other – N/A

#### **Recommendations:**

- A. Doors & Frames: No work is required for the doors and frames at this time.
- B. Door Hardware: No work is required at this time.
- C. Transom/Side Lights: Does not exist at this building.

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- D. Lintels: No work is required at this time.
- E. Interior Damage: No work is required at this time.
- F. Other Collateral Impacts
  - 1. Plumbing – N/A
  - 2. Mechanical – N/A
  - 3. Electrical – N/A
  - 4. Other – N/A

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### **3.6 Description: (Below Grade) Flood Elimination**

#### **Introduction**

The custodian reported water infiltration in a basement storage room. Damage to the paint finish and wood door at storage rm B4 along Park Place, at the southwest corner of the building, has been observed. As a result of the water infiltration significant damage at paint, plaster finishes and door water were also noted. The water source was located at the ceiling line of the room at the exterior wall, below the entry landing, currently in construction, project LLW#:130061. The original granite entry steps and landing at the main entrance were removed, in order to rebuild new concrete steps, ramp and landing at the building as part of the accessibility improvements (LLW #130061).

*The Building Condition Assessment Survey (BCAS) notes the following condition ratings and deficiencies:*

- *Foundation Walls: 4 - Between Fair and Poor. Concrete: cracked/ spalled/ reinforcement exposed, water infiltration in non- instructional space.*
- *Floor Slab (at Basement/Cellar): 3 – Fair. Concrete: cracks/ spalled/ reinforcement exposed.*
- *Plaza Deck – Noted not to exist at this building.*
- *Areaways: These components are described under “Exterior Masonry”*
- *Vaults/Bunkers:*
  - *Foundation Walls: No BCAS ratings are provided.*
  - *Slab Structure: 3 – Fair. Concrete: cracks/spalled/reinforcement exposed.*
  - *Vault/Ash Hoist Doors and Framing: 5 – Poor. Deteriorated/Damaged Vault/Ash Hoist Doors and Framing.*
- *Stairs/Ramps: These components are described under “Exterior Masonry.”*
- *Mechanical (Pumps/Sump Pump, Drain/Waster/Vent and Storm System/ Sump Pumps): Add from BCAS Mech. Report.*

#### **Findings:**

- A. Foundation Walls: Deteriorated window joint sealant and water penetration was noted in the area next to the new ADA ramp, due to an open joint at main entrance’s stairs landing between the new concrete landing and the building’s existing foundation. **(Photos M07, M08, M09, M10, M15)**
- B. Floor Slabs at Basement/Cellar: Floor slabs were observed to be in good condition.

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- C. Plaza Deck: No plaza deck was observed in this building.
- D. Areaways:
  - 1) The areaways were observed to be in poor condition. Although some deterioration and cracks in concrete were noted, this is not the cause of water infiltration. **(Photos S09, S10)**
- E. Vaults/Bunkers (Foundation Walls, Slab Structure, Vault/Hoist Doors)
  - 1) Some deterioration at the vault/hoist doors was observed. **(Photos S04, S05, S06)**
- F. Stairs/Ramps:
  - 1) Building Cheek/Flank Walls: Were noted to be in fair condition, cracks and spalling in concrete were observed. **(Photos S06, S07, S08, M02, M21)**
  - 2) Railings: Observed to be in fair condition, the railings are not in compliance. **(Photo S08, M26)**
  - 3) Stairs/Ramps: The main entrance stairs and ramp are under construction as part of the current ongoing Accessibility project. **(Photo S01, S02, S03, S07, M44, M45)**
- G. Mechanical: All systems were observed to be in good condition.
- H. Interior Damage: Paint, plaster finishes and door water damage from the water infiltration was observed in some of the basement rooms. **(Photos A08, A09, A15, A16, A17)**
- I. Other Collateral Impacts
  - 1. Plumbing – N/A
  - 2. Mechanical – N/A
  - 3. Electrical – N/A
  - 4. Other – N/A

**Recommendations:**

- A. Foundation Walls: The water infiltration and the damage caused in Storage Room B4, below the main entrance should be addressed by the current contractor of the accessibility project (LLW #130061).
- B. Floor Slabs at Basement/Cellar: No work is required at this time.
- C. Plaza Deck: No plaza deck was observed in this building.
- D. Areaways: No work is required at this time.
- E. Vaults/Bunkers: No work is required at this time.
- F. Stairs/Ramps: No extra work is required at this time, stairs and ramp are still under construction.

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- G. Mechanical: No work is required at this time.
- H. Interior Damage: The interior damage caused by the water infiltration should be addressed by the current contractor (LLW #130061).
- I. Other Collateral Impacts
  - 1. Plumbing – N/A
  - 2. Mechanical – N/A
  - 3. Electrical – N/A
  - 4. Other – N/A

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**G. APPENDIX**

1. Photos
2. Scope Drawings
3. Reference Drawings
4. Test Reports – Not Used
5. Outstanding Violations Printouts
6. Applicable BCAS Report Pages
7. Meeting Minutes & Correspondence
8. Scope Estimate

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**APPENDIX 1: PHOTOS**

**Contents:**

○ **Photo Location Drawings:**

PL01: Site Plan  
PL02: Basement Floor Plan  
PL03: 2nd Floor Plan  
PL04: Roof Plan  
PL05: Bulkhead Roof Plan

○ **Photos**

M – Masonry

A – Interiors

P – Parapets

R – Roofs

S – Site



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**Photo M01 – View along Park Place – South Façade.**



**Photo M02 – View from parking lot – East Façade.**

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Photo M03 – Deteriorated joint grout at bottom area at Southwest corner.

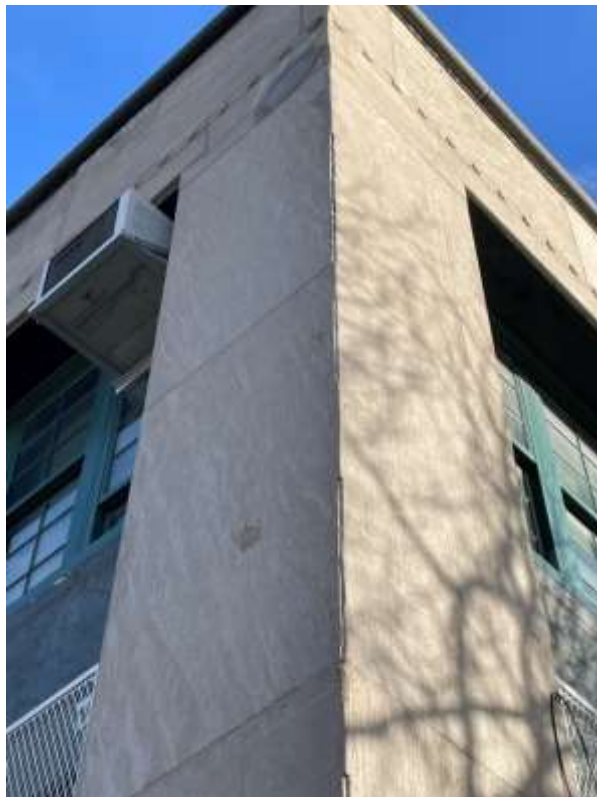


Photo M04 – Deteriorated joint grout at upper area at Southwest corner.

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Photo M05 – Detail of deteriorated joint grout at Limestone.



Photo M06 – Halfmoon crack and missing granite piece at South Façade.

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Photo M07 – Open joint at stairs landing at South entrance.

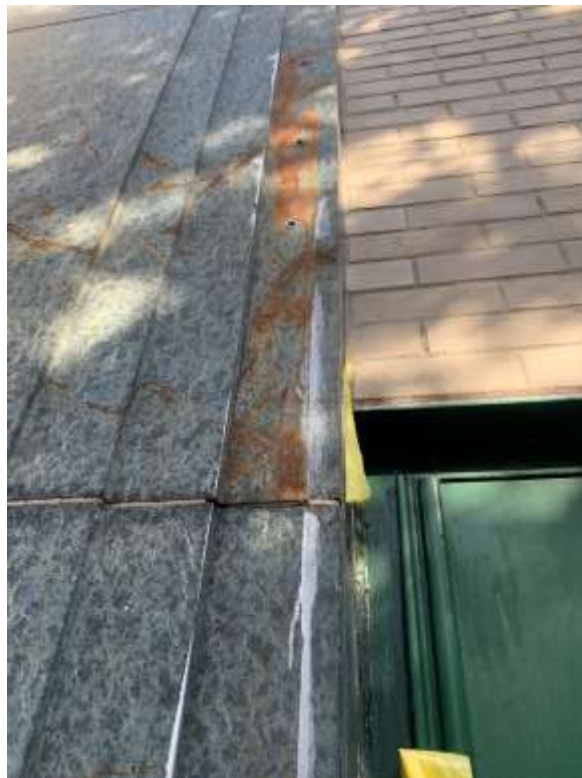


Photo M08 – Deteriorated mortar joints at East entrance.

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Photo M09 – Open joint between new landing and existing building's foundation at South entrance



Photo M10 – Cracks and missing stone in granite at Main Entrance, South Elevation.

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Photo M11– Missing stone and deteriorated mortar joint at Main Entrance.



Photo M12 – Missing stone and deteriorated mortar joint at Main Entrance.

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Photo M13 – Close detail to the missing stone and crack in granite.

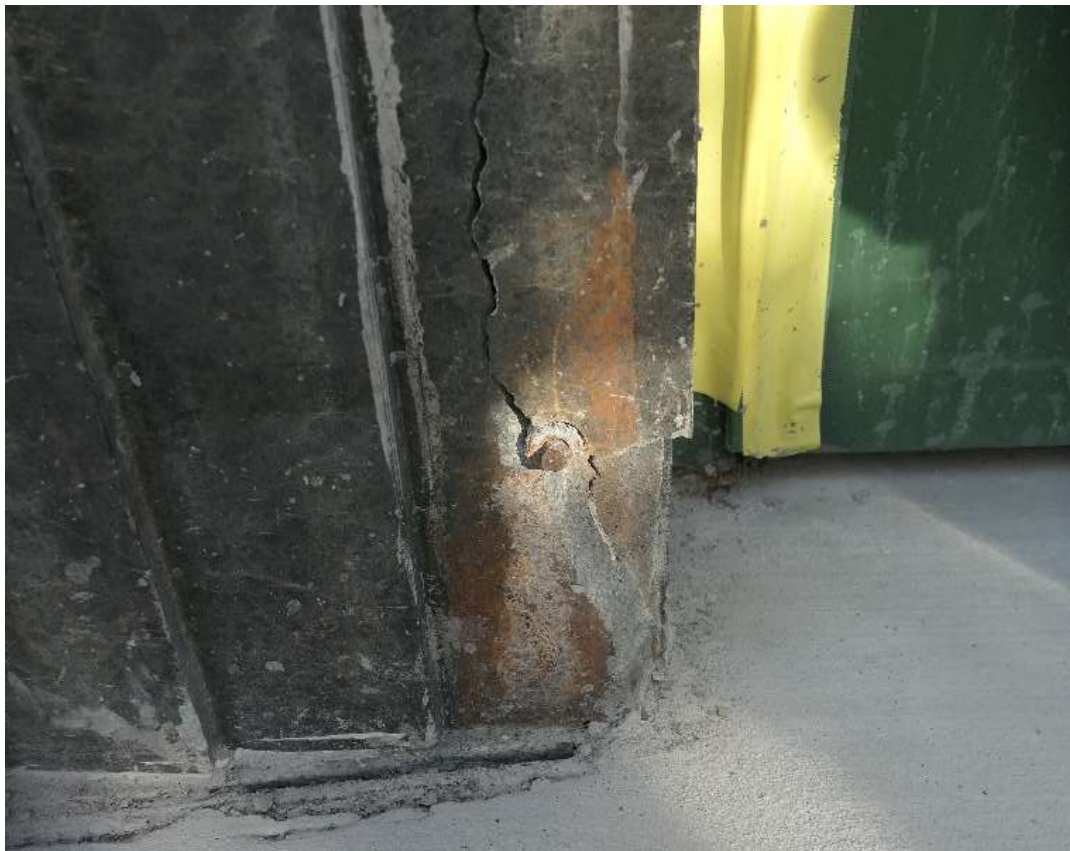


Photo M14 – Missing granite chunk and crack – South Façade.

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Photo M15 – Source of water infiltration at open joint between new landing and existing building's foundation at main entrance, south façade.



Photo M16 – Brick and stone above main entrance.



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Photo M17 – Deteriorated mortar joints and loose missing grout at stone.



Photo M18 – Deteriorated mortar joints at granite panels.

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Photo M19 – Missing and deteriorated mortar joints at Southwest corner of the building.



Photo M20 – South and East facades.

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**Photo M21 – View from parking lot – East Façade.**



**Photo M22 – Flake in limestone – East Façade.**

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Photo M23 – Cracks at granite panels, East Façade.



Photo M24 – Cracks at granite panels, East Façade.

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Photo M25 – Loose missing grout at stone.



Photo M26 – Secondary entrance at East Façade.

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Photo M27 – Double hung windows and ACs are in good condition.



Photo M28 – Crack in granite above secondary entrance, East Façade.

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Photo M29 – View along back entrance – North Façade.



Photo M30 – Flake in limestone at North Façade.

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Photo M31 – Deteriorated mortar joints at all Facades.



Photo M32 – Crack in Limestone, window guards are in good condition – North Façade.



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Photo M33 – Window guards are in good condition – North Façade.



Photo M34 – Peeling paint – North Façade.

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**Photo M35 – Peeling paint area at North Façade.**



**Photo M36 – Peeling paint – West and North Façade.**

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Photo M37 – Peeling paint – West and North Façade.



Photo M38 – Second level window guards at North Façade and Northwest corner.

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Photo M39 – Missing mortar at joints.



Photo M40– Northwest corner of the building.

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**Photo M41 – View along back entrance and parking lot – North Façade.**



**Photo M42 – View along Underhill Avenue – West Façade.**

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Photo M43 – Halfmoon crack in granite panel at West Façade.



Photo M44 – Temporary access at West Façade.

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**Photo M45 – Temporary stair access at West Façade.**



**Photo M46 – Missing stone at West Facade.**

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Photo M47 – Damaged stucco in bulkhead at southwest corner.



Photo M48 – Damaged stucco in bulkhead exterior door indicates water infiltration – West Bulkhead Façade.



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Photo M49 – Damaged stucco in windows perimeter indicates water infiltration, roof ladder is in good condition – North Bulkhead Façade.



Photo M50 – Damaged stucco in windows perimeter indicates water infiltration – North Bulkhead Façade.

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Photo M51 – Damaged stucco in windows perimeter indicates water infiltration – North Bulkhead Façade.



Photo M52– Damaged stucco in windows perimeter indicates water infiltration – North Bulkhead Façade.

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Photo M53 – Damaged stucco in windows perimeter indicates water infiltration – North Bulkhead Façade.



Photo M54 – Damaged stucco and missing stucco in windows perimeter indicates water infiltration – East Bulkhead Façade.

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Photo M55 – Detail of damaged stucco and missing stucco in window lintel indicates the source of water infiltration – East Bulkhead Façade.

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Photo A01 – View of electrical closet B2B.



Photo A02 – View of electrical closet B2B.

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Photo A03 – View at storage room B2A.



Photo A04 – View of electrical closet's door at Room B2A.

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**Photo A05 – View of electrical panels at room B2A.**



**Photo A06 – Deteriorated ceiling at basement stair #2.**

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Photo A07– Deteriorated ceiling at basement stair #2.



Photo A08 – View inside storage room B4 and damaged door.



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Photo A09 – Door water damage in Storage room B4.



Photo A10 – View of stair #2, and damaged ceiling.

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Photo A11 – Closet next to restroom at Basement Level B5.



Photo A12– Door to Women’s Restrooms B6.

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Photo A13 – View of Library B1 view along West Façade.



Photo A14 – View of Library B1 view along South Façade.

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Photo A15 – View of Storage Room B4, view along the wall where the source of infiltration is located.



Photo A16 – Source of water infiltration is located at the ceiling line of Storage Room B4.

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Photo A17 – Source of water infiltration is located at the ceiling line of Storage Room B4.



Photo A18 – View of hall towards Stair #3

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Photo A19 – View of Boiler Room B7A.



Photo A20 – Door at Boiler Room B7A towards Water Room B7B.

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Photo A21 – View of Water Room B7B.



Photo A22 – View of Stair #3.

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Photo A23 – Floor hatch at Room B3A.



Photo A24– View of dumbwaiter door at room B3A.



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Photo A25 – View of ceiling and window of Storage Room B3C.



Photo A26 – Damage at plaster finish at Storage Room B3C

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Photo A27 – View of Storage Room B3C.



Photo A29 – View of Storage Room B3C.

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Photo A30 – View of damage at wall in Storage Room B3C.



Photo A31 – View of Room B3B.

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Photo A32 – View of Room B3B.



Photo A33 – Bulkhead door – West Façade.

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Photo A34 – View of Storage Room at Bulkhead.



Photo A35 – View of Storage Room at Bulkhead.

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Photo A36 – Damaged interior plaster in bulkhead at wall in stair #2 area, indicates water infiltration.



Photo A37 – Damaged interior plaster in bulkhead indicates water infiltration.

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Photo A38 – Damaged interior plaster in bulkhead indicates water infiltration.



Photo A39 – Damaged interior plaster in bulkhead indicates water infiltration.

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Photo P01 – Roof parapets are in overall good condition, there's some deteriorated brick joint mortar in some areas.



Photo P02 – Roof parapets are in overall good condition, there's some deteriorated brick joint mortar in some areas.



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Photo P03 – Roof parapets are in overall good condition, there's some deteriorated brick joint mortar in some areas.



Photo P04 – Roof parapets are in overall good condition; roof is in good condition as well.

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Photo P05 – Roof and roof barrier are in good condition, parapets shown some deteriorated brick joint mortar in some areas.



Photo P06 – Roof Barrier is in good condition.

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Photo P07 – Roof Barrier is up to code and in good condition.



Photo P08 – Bulkhead parapet, roof drains and vents are in good condition.

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Photo P09 – Parapets at bulkhead roof are in good condition.

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Photo R01 – All roof drains are in good condition.



Photo R02 – All vents are in good condition.

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**Photo R03 – View of Roof, facing Southwest.**



**Photo R04 – View of Roof and South Bulkhead façade, facing East.**

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Photo R05 – Roof flashing is in good condition.



Photo R06 – Roof flashing is in good condition.

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**Photo R07 – View of Roof and North Bulkhead façade, facing East.**



**Photo R08 – View of Roof and South Bulkhead façade, facing West.**



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Photo R09 – Roof drains and vents are in good condition.



Photo R10 – View of Roof and Southwest Bulkhead, facing West.

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Photo R11 – View of Roof and East Bulkhead façade, facing North.



Photo R12 – Bulkhead parapets are in good condition.

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Photo R13 – View of bulkhead roof, roof ladder, vent and roof drain, facing North.



Photo R14 – View of bulkhead roof facing East.

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**Photo R15 – View of bulkhead roof facing East.**



**Photo R16 – View of bulkhead roof facing West.**

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**Photo R17 – View of Roof and Bulkhead roof facing North.**



**Photo R18 – Roof hatch at Bulkhead roof is in good condition.**

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**Photo R19 – Chimney at bulkhead roof is in good condition.**



**Photo R20 – Roof drains at Bulkhead roof are in good condition.**

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**Photo S01 – Existing ramp at main entrance.**



**Photo S02 – View of existing ramp in construction at main entrance, taken from Roof.**

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Photo S03 – View of temporary exterior stair at West Façade, taken from Roof.



Photo S04 –Vault/Hoist Doors are in fair condition.



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Photo S05 – View of Vault/Hoist doors at East Façade, next to access.



Photo S06 – Stairs to Entry #2 at East Façade.

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**Photo S07 – Stairs are in good condition.**



**Photo S08 – Check walls and railing at East entry are in good condition.**

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Photo S09 – Areaway located at the north of the building, next to driveway.



Photo S10 – Areaway is in fair condition.

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Photo S11 – Sidewalk at North façade next to parking driveway is in fair condition.



Photo S12 – Sidewalk next to parking driveway is in fair condition.

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**APPENDIX 2: SCOPE DRAWINGS**

○ **Damage Mapping (Existing Condition) Drawings**

DM001: Site Plan  
DM002: Basement Floor Plan  
DM003: First Floor Plan  
DM004: Second Floor Plan  
DM005: Roof Plan  
DM006: South (Front) Building Elevation  
DM007: West Building Elevations  
DM008: North (Rear) Building Elevation  
DM009: East Building Elevations  
DM010: Bulkhead Elevations-1  
DM011: Bulkhead Elevations-2  
DM012: Parapet Elevations

○ **Recommended Work Drawings**

SK001: Site Plan  
SK002: Basement Floor Plan  
SK003: First Floor Plan  
SK004: Second Floor Plan  
SK005: Roof Plan  
SK006: South (Front) Building Elevation  
SK007: West Building Elevations  
SK008: North (Rear) Building Elevation  
SK009: East Building Elevations  
SK010: Bulkhead Elevations-1  
SK011: Bulkhead Elevations-2  
SK012: Parapet Elevations

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**APPENDIX 3: REFERENCE DRAWINGS**

○ **List of Reference Drawings:**

SHPO Sketches (2008)

No.	Dwg. No.	Drawing Title
R001	SHPO-3	Site Plan

Windows, Roofs & Parapets D011263 (2008)

No.	Dwg. No.	Drawing Title
R002	A101	Basement and First Floor Plans
R003	A102	Second and Roof Bulkhead Plans
R004	A103	Roof Construction Plan
R005	A201	Park Place Building Elevations
R006	A202	Rear Yards, Parking and Underhill Ave Building Elevations

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**APPENDIX 4: TEST REPORTS – NOT USED**

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**APPENDIX 5: OUTSTANDING VIOLATIONS PRINTOUT**

- Property Profile Overview
- Open DOB Violation Printouts
- Open ECB (DOB) Violation Printouts



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**APPENDIX 6: [APPLICABLE BCAS REPORT PAGES]**

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**APPENDIX 7: MEETING MINUTES & CORRESPONDENCE**

- Meeting Agenda for 12/22/23, dated 12/14/23.
- Meeting Minutes (Kick-Off Meeting on 12/22/23), dated 12/22/23.
- Building Envelope Field Report 01/10/23 by CPL Architecture

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**APPENDIX 8: SCOPE ESTIMATE**