



# Capital Improvement Program

Architecture & Engineering

## Detailed Submission to NYS Historic Preservation Office SHPO ID:

Design #:D022292

LLW#: 136055 Description: Clock Tower Repair, Permanent Fix.



## Arthur D. Phillips School (Staten Island)

Building ID: R829

School District: 31

Report Prepared by: CPL Architecture Engineering Planning.

SCA Design Manager: Ashraf Elias P.E

Date:11/29/2023

# Table of Contents

A. Building Description, History & Project Status.....	Page 03
B. Summary of Modifications Affecting Historic Character.....	Page 06
C. Location Map.....	Page 07
D. Block Plan/Context Photos.....	Page 08
E. Site Plan/Building Photo Key Plan .....	Page 11
F. Photos of Existing Building.....	Page 16
G. Plans and Elevations of Existing Building.....	Page 22
H. Scope of Investigation, Findings & Conclusions.....	Page 23
I. Recommended Work.....	Page 26
J. Rehabilitation Drawings.....	Page 28
K. Specifications.....	Page 29
L. Appendix.....	Page 30
1. Photos of Existing Conditions.....	Page 31
2. Damage Mapping Drawings .....	Page 42

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**

**A. BUILDING DESCRIPTION, HISTORY & PROJECT STATUS**

**School Name:** R829 - Arthur D. Phillips School S.I.

**Building ID:** R829

**Borough:** Staten Island

**Address:** 98 Grant Street, Staten Island, NY 10301

**Tax Lot and Block:** Lot 81, Block 506

**Project Status:** The project is in the Design Phase.

**Introduction:**

- School Name and Facility Code (Building ID) Number:  
Arthur D. Phillips School S.I. – R829
- List of School Organizations housed in the Building: New School @ R829 Old 15, P.S. 65 - Staten Island, R373 Sped - Staten Island, S.I. Area Office (Old 15), Regional Suspension Center - S.I.
- Student and Staff Population and Grade Levels Served (current and projected population and grade levels for each School Organization): The building houses approximately 381 students in grades Pre=K to 5th, with a staff population of 85.
- Year of Original Building Completion & Architect Name: 1897- Edward A. Sargent.
- Year of Completion of Addition(s) & Architect Name(s): 2000- Medhat Salem Associates.

**Description of the Existing Building:**

- Number of Floors: 3+B+PH
- Gross Building Area: 45,500
- Accessibility: Main entrance is located on an accessible route. Upper floors are accessible by elevator.
- List of Public Assembly Spaces and Locations: Cafeteria – Basement , Gym/Library – Third Floor .
- Number of Classrooms: 20
- Building Structural System (typical framing, floor and roof construction): Original building is constructed of wood framing, concrete floor and roof slabs. Addition is constructed of steel framing, concrete floor and roof slabs.
- Exterior Wall System(s): Exterior is solid masonry wall. The brick consists of burnt red face brick and common brick.
- Window/Glazing Systems (window type(s) and glazing): Aluminum replacement windows.

**NYC School Construction Authority**  
**Detailed Submission to NYS Historic Preservation Office**  
**Arthur D. Phillips S.I., Staten Island, Building ID: R829**  
**Design #: D022292, LLW#: 136055**

- Roofing System(s): Mansard roof with projecting eaves and simple molded cornice, with synthetic slate shingles. Hipped roofs over the pavilions intersect the main roof. The flat portion of the roof is multi-ply protected membrane roofing.

**Description of Site:**

- Key Site Features: The site is gently sloping and occupies the corner lot on Grant Street to the north and St. Paul's Avenue to the west.
- Surrounding Streets: The main entrance of the building faces north onto Grant Street.
- Site Accessibility: The site is accessible from Grant Street to the north and St. Paul's Avenue to the west. It is bounded by public streets to the north and west and private lots to the south and east.
- Site Utilization (playgrounds, athletic fields, parking, etc.): A paved play yard containing a basketball court and playground is located on the south side of the site. The play yard is entirely fenced off from the street by a metal fence.
- Landscaping: Grass yards are located between the building and metal fence on the north and west facades.
- Site Paving: The south side of the site is paved and accommodates the play yard located there.

***Building Overview:***

R829 Arthur D. Phillips S.I., located at 98 Grant Street, in the corner of St. Paul's Avenue and Grant Street in Staten Island, New York, is a 3-story (plus basement), primary school, approximately 45,500 SF in total floor and completed in 1897. The school building, commissioned as a district school by the Middletown Township, was completed just as Staten Island became a part of New York City and it is nearly 127 years old.

The picturesque building is an outstanding example of late nineteenth century Late Victorian, Queen Anne inspired institutional architecture style, designed by Staten Island's most talented late nineteenth century architect, Edward A. Sargent, who also designed many local residences. Characteristic features of the Queen Anne style shown by R829 include the steeply pitched roof, asymmetrical form, and decorative use of brick and stone.

The school's main entrance faces North on Grant Street, with St. Paul's Ave to the West. Privately-owned two-story residential buildings surround the school at its South (where the play yard is located) and East sides of the school. The building's superstructure is a combination of wood framing at the original building and steel framing at its addition, both areas with concrete floors and roof slabs, with exterior bearing walls with burnt red face brick and common brick.

**NYC School Construction Authority**  
**Detailed Submission to NYS Historic Preservation Office**  
**Arthur D. Phillips S.I., Staten Island, Building ID: R829**  
**Design #: D022292, LLW#: 136055**

Arthur D. Phillips S.I., is currently designated as an SHPO-eligible building. The school possesses historical significance for its association with the growth of this Staten Island neighborhood. R829 is located in the northeast part of Staten Island. The school was built in response to the growing school-age population as the area became more developed thanks to the establishment of ferry terminal Saint George and the opening of the Staten Island Rapid Transit's rail lines in the mid-1880s.

A real-estate boom took place here in the late 1880s and 1890s as a large number of middle-class families moved here. The building is a prominent landmark of the surrounding residential neighborhood. It retains high degree of integrity setting, location, feeling, association, design, materials, and craftsmanship.

**List of Previous Renovation Projects**

Year of Actual Constr. Completion*	In SCA CIP Database	In SCA Alchemy Files	Year of Document Completion**	Project Description	SCA Design/LLW# (if applicable)
1996	X	X	1997	Wood Tower Repairs	D002107 LLW# 010630
2000	X	X	2002	Chimney	D004979; LLW# 020240
2000	X	X	2002	Exterior Masonry	D004979; LLW# 020241
2008	X	x	2006	New Addition	D042480 LLW#

\* Year of "Actual Construction Completion" as listed in the SCA CIP Database

\*\* Year of Construction Documents found in SCA Archives or other source

**List of In-Progress and Planned Renovation Projects:**

- FY24 Reso A Cafeteria Upgrade, LLW No. 136537
- RTU Compressor Replacement, LLW No. 135930
- School Entry Locking And Emergency Notification Solution, LLW No. 135142
- FY23 Reso A Technology Upgrade, LLW No. 133109
- IPDVS Full Camera Upgrade, LLW No. 130006
- FY22 Reso A Technology Upgrade, LLW No. 129524
- DEP/DOE Water Conservation Fixture Retrofit Program, LLW No. 127790
- Exterior Stairs, LLW No. 126711
- FY21 Reso A Technology Upgrade, LLW No. 124949
- LBP Common Spaces - Student Bathrooms, LLW No. 123860
- LBP Common Spaces - Gymnasium, LLW No. 123860

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**

**B. SUMMARY OF MODIFICATIONS AFFECTING HISTORIC CHARACTER**

- Overview

Arthur D. Phillips' original building was constructed in 1897, with a new wing added in 2008. The school's 1897 original building and the 2008 new addition are connected, in an "L" shaped configuration. A three-story structure set on a high basement, topped with a prominent clock tower. The building has two pavilions with chamfered corners on the front and one on each side, as well as a rear rectangular section. The main entrance faces St. Paul's Avenue, while each side has a secondary entrance (that facing Grant Street has a tower above). The building has been repointed several times through the years. The school also underwent a major interior renovation, including an auditorium update in 2015.

- **General & Site:** The 20,000 SF addition was built in 2006. The addition was conceived as a simplified and more contemporary design to reflect the existing building's character. The school was built with a prominent clock tower placed on the Grant Street side of the building. The latest documented repair work to the clock tower was made in 1996. The building is located within a residential area.
- **Exterior Walls:** Faced in rough-textured burnt red brick, the walls are ornamented with terra-cotta band courses and trim, as well as channeled brick on the third-story pilasters, with stone water table and stone sills and lintels on the basement level. The materials utilized on the exterior of addition are red brick in color with a texture harmonious with the original building's brick and cast stone sills and lintels. The latest Exterior Renovation was performed in 2002.
- **Parapets:** No work has been found that has affected the historic character of the building.
- **Windows:** Historic photographs indicate that all original windows had double-hung wood sash, most with multiple panes of the Queen Anne style, with segmental transoms. The windows were replaced with aluminum to match the original design in 1994. The latest replacement was made during the 2000 Exterior Renovation.
- **Exterior Doors:** The latest replacement was during the 2000 Exterior Renovation.
- **Roofing:** The existing built-up roofing was last replaced in 2010.
- **Below Grade:** No work done has affected the historic character.

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055

C. LOCATION MAP

The building is located in the corner of Grant Street to the north and St. Paul's Ave to the west, in the northern area of Staten Island. The property is flanked by buildings on the southeast and south side. See Block Plan in the following section.



NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055

**D. BLOCK PLAN/CONTEXT PHOTOS**



**Aerial View – South**



**Aerial View – North**



**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



**Aerial View – Northwest**



**Aerial View – Southwest**

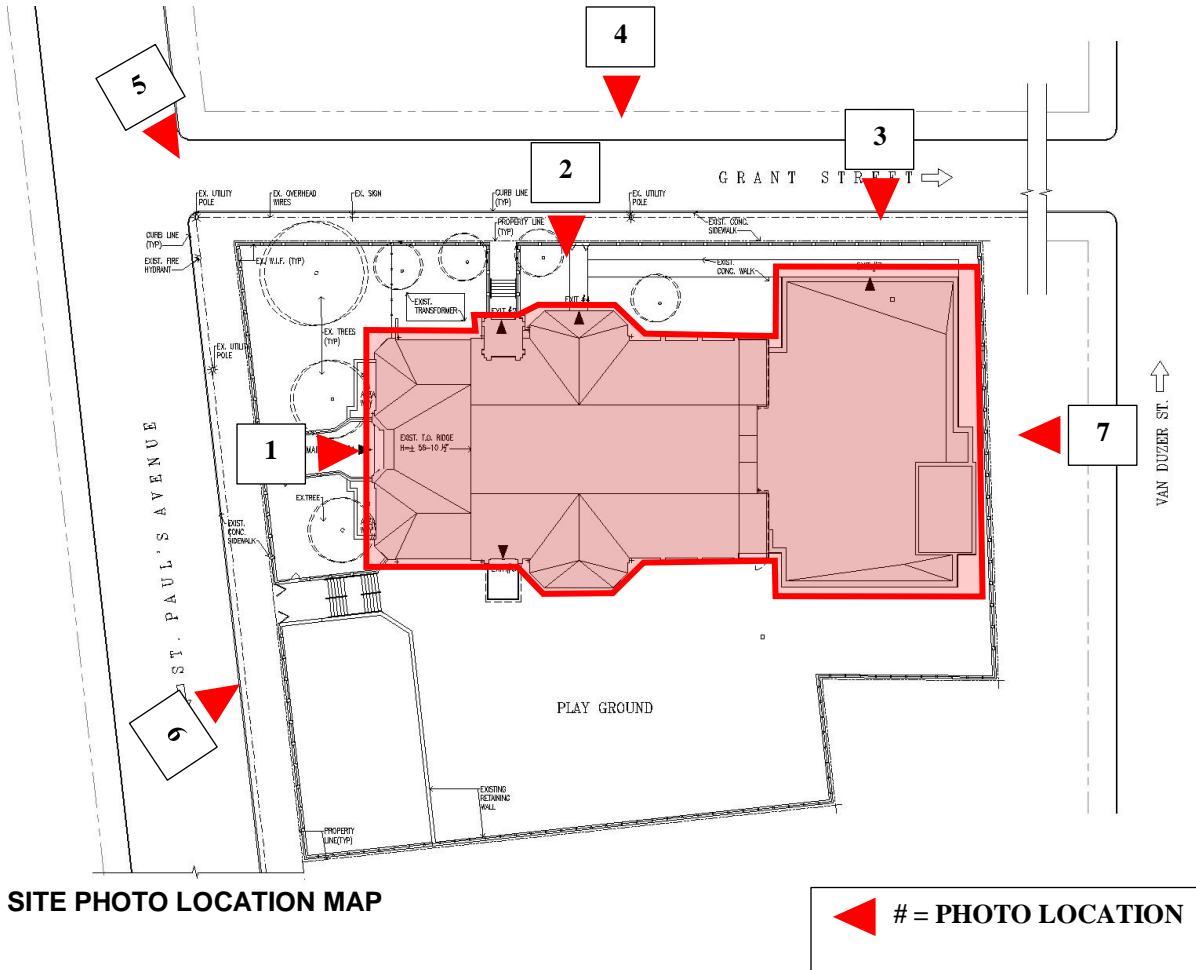
NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



Aerial View – Clock Tower

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055

**E. SITE PLAN/BUILDING PHOTO KEY PLAN**



**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



**Photo 1 – West elevation, main access at St. Paul's Ave.**



**Photo 2 – North elevation, original building at Grant St.**

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



**Photo 3 – North elevation, addition at Grant St.**



**Photo 4 – North elevation, addition and original building at Grant St.**

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



Photo 5 – St. Paul's Ave and Grant St corner.



Photo 6 – South elevation and playground at St. Paul's Ave.

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



**Photo 7 – East elevation.**

**G. PHOTOS OF EXISTING BUILDING**



Photo – Historic Building Photo



Photo – Present day building



NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



Photo 3 – Main Elevation



Photo 4 – Dedication Plaque

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



**Photo 5 – Main Access at St. Paul's Avenue**



**Photo 6 – Lateral access at Grant St.**

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



**Photo 7 – Lateral access to playground.**



**Photo 8 – School's plaque at St. Paul's Ave and Grant St corner.**

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



**Photo 9 – Lateral service door at Grant St.**



**Photo 12 – Clock Tower and Roof view from Grant St.**

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



**Photo 11 – Clock Tower view from St. Paul’s Ave.**

**H. PLANS AND ELEVATIONS OF EXISTING BUILDING**

**Clock Tower Restoration Drawings - 1997**

<b><u>No.</u></b>	<b><u>Dwg. No.</u></b>	<b><u>Drawing Title</u></b>
R01	T-1	Title Sheet
R02	A-1	Clock Tower Plans, Sections & Details
R03	A-2	Clock Tower Elevations, Sections & Details

# P.S. - 15 RICHMOND

## S.I. AREA OFFICE

# WOOD CLOCK TOWER

## DESIGN NO. D-2107

### GENERAL NOTES:

- THE FOLLOWING NOTES SHALL APPLY THROUGHOUT EXCEPT WHERE SPECIFICALLY NOTED ON EACH DRAWING.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND/OR BUILDING.
  - THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMITS, FEES, LICENSES AND INSURANCES NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
  - APPLICATION FOR CONSTRUCTION PERMITS SHALL BE FILED WITH THE FACILITIES INSPECTION DIVISION OF THE AUTHORITY.
  - COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
  - THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BUMPAGE, COLLAPSE, OVERTURNING AND LOSS OF LOADS OR DEFLECTION TO LOADS AND SHIMMING OF LOADS.
  - ELEVATION LEVELS INDICATED ON THE DRAWINGS ARE SUBJECT TO THE INFORMATION FOR THE BIDDING IN WHICH THIS CONTRACT IS BEING EXECUTED.
  - THE TERM "FINISH FLOOR" SHALL MEAN THE NORMAL FINISHED SURFACE OF THE FLOOR LEVEL.
  - ALL ELEVATIONS GIVEN FOR EXISTING BUILDINGS ARE TO FINISHED FLOOR. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS FOR EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.
  - THE CONTRACTOR SHALL CORRECT ANY VARIATIONS IN FLOOR ELEVATIONS CAUSED BY THE REMOVAL OF PARTITIONS AND/OR FOR THE INSTALLATION OF NEW FLOOR OPENINGS.
  - ALL UNSUPPORTED LIMITS GREATER THAN 4'-0" SHALL BE REPROPOSED AS PER BUILDING CODE.
  - UNLESS OTHERWISE NOTED EXTERIOR BRICK WORK SHALL BE INSTALLED IN A RUBBED BOARD.
  - WHERE MANUFACTURER'S NAMES AND PRODUCT ARE INDICATED ON THE DRAWINGS, SUCH WORK SHALL BE CONTROLLED TO MEET THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE ORDERED.
  - SIZE OF MASONRY UNITS AND WOOD MEMBE BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.
  - ADDITIONAL NOTES WHICH ARE APPLICABLE MAY BE FOUND THROUGHOUT THE CONTRACT DRAWINGS.

### BUILDING DEPARTMENT NOTES:

- THE FOLLOWING NOTES SHALL APPLY THROUGHOUT.
- WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, ORDINANCES, REGULATIONS, CODES, RULES, REGULATIONS AND LIMITS OF DESIGN OF PUBLIC AUTHORITIES GOVERNING THE PERFORMANCE AND EXECUTION OF THE WORK.
  - THE CONTRACTOR SHALL OBTAIN EQUIPMENT USE PERMITS REQUIRED IN ACCORDANCE WITH THE BUILDING CODE.
  - THESE DRAWINGS HAVE BEEN PREPARED BY US OR AT THE DIRECTION OF THE UNIVERSITY OF THE STATE OF NEW YORK AND SHALL MEET THE REQUIREMENTS OF THE BUILDING CODE.
  - ALL NEW INTERIOR FINISHES SHALL BE CONSTRUCTED OF MATERIALS LISTED IN SECTION 7-1.05E FOR FLOOR SPECIAL FINISHES PER SECTION 27-102.1.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FROM THE DEPARTMENT OF BUILDINGS FOR ALL PUBLIC UTILITIES AS PER SECTION 27-102.1.
  - THE CONTRACTOR SHALL OBTAIN EQUIPMENT USE PERMITS REQUIRED IN ACCORDANCE WITH THE BUILDING CODE.
  - THESE DRAWINGS HAVE BEEN PREPARED BY US OR AT THE DIRECTION OF THE UNIVERSITY OF THE STATE OF NEW YORK AND SHALL MEET THE REQUIREMENTS OF THE BUILDING CODE.
  - ALL NEW INTERIOR FINISHES SHALL BE CONSTRUCTED OF MATERIALS LISTED IN SECTION 7-1.05E FOR FLOOR SPECIAL FINISHES PER SECTION 27-102.1.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FROM THE DEPARTMENT OF BUILDINGS FOR ALL PUBLIC UTILITIES AS PER SECTION 27-102.1.

### CONTROLLED INSPECTIONS:

- CONTROLLED INSPECTIONS REQUIRED IN ACCORDANCE WITH SECTION 27-105 AND THE APPLICABLE SECTIONS OF THE BUILDING CODE ARE LISTED IN THE FOLLOWING TABLES. THE CONTRACTOR MUST NOTIFY THE ARCHITECT OR ENGINEER FOR CONTROLLED INSPECTIONS AT LEAST 12 HOURS BEFORE THE SPECIFIC WORK COMMENCES.
- |                     |                          |
|---------------------|--------------------------|
| MASONRY UNITS       | RS 10-3.32               |
| CONTINUED STABILITY | R.S. REG 4/11/83 27-1010 |
- REQUIRED INSPECTIONS AND TESTS OF MATERIALS DESIGNATED FOR CONTROLLED INSPECTION BY THE CONTRACTOR SHALL BE MADE UNDER THE DIRECT SUPERVISION OF A LICENSED ARCHITECT OR ENGINEER RETAINED BY OR ON THE BEHALF OF THE CONTRACTOR. SUPERVISORIAL PERMISSION FROM THE ARCHITECT OR ENGINEER WHO SUPERVISES THE PERFORMANCE OF THE WORK.

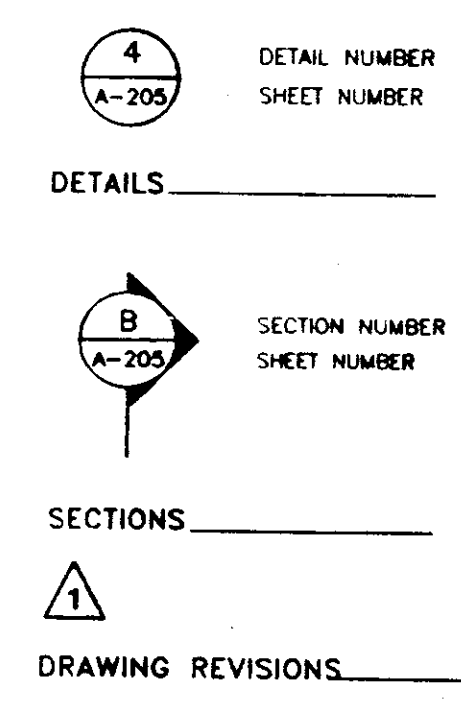
### ABBREVIATIONS

<b>A</b>	- ABOVE	<b>G</b>	- GAUGE	<b>P</b>	- PAINT
AB	- ABOVE MASONRY UNITS	GA.	- GALVANIZED	PA.	- PARTITION
ACMAS.	- ABOVE FINISHED FLOOR	GALV.	- GALVANIZED	P&D	- PLUMBING AND DRAINAGE
ADJ.	- ABOVE FINISHED GRADE	G.C.	- GENERAL CONTRACTOR	PL./PLAS.	- PLASTER
A.F.F.	- ABOVE FINISHED GRADE	G.I.	- GALVANIZED IRON	PRE.	- PRESENT
A.F.G.	- ABOVE FINISHED GRADE	GL.	- GLASS	PT. C.B.	- PAINTED CONCRETE BLOCK
ALUM.	- ALUMINUM	GR.	- GRILLE	<b>Q</b>	
APP'D.	- APPROVED	GR. EL.	- GRADE ELEVATION	Q.T.	- QUARRY TILE
ARCH.	- ARCHITECT	G.T.	- GLAZED TILE	<b>R</b>	
<b>B</b>	- BURIED	GYP. BD./GWB.	- GYPSUM BOARD	R	- RISER
<b>Z</b>	- ZONE	<b>H</b>		RAIL/G.	- RAILING
<b>B.C.</b>	- BRICK COURSE (OR) BRICK CASE BOARD	H.	- HIGH	RAD.	- RADATOR
BD.	- BOARD	HDCP.	- HANDICAPPED	R.D.	- ROOF DRAIN
B.L.	- BUILDING LINE	HGT.	- HEIGHT	<b>REINF.</b>	- REINFORCING
BLDG.	- BUILDING	H.M.	- HOLLOW METAL	RM.	- ROOM
BLU.	- BLUE	HORIZ.	- HORIZONTAL	R.O.	- ROUGH OPENING
B.O.	- BOTTOM OF CURB	H.P.	- HIGH POINT	<b>S</b>	
B.O.C./B.C.	- BOTTOM OF CURB	H.R.	- HAND RAIL	SECT.	- SECTION
B.O.W./B.W.	- BOTTOM OF WALL	HR.	- HOUR	SIM.	- SIMILAR
BOT.	- BOTTOM	<b>I</b>		SPEC.	- SPECIFICATION
B.S.	- BLUE STONE (OR) BRONZE SADDLE BOARD OF STANDARDS AND APPEALS	I.D.	- INSIDE DIAMETER	SQ. FT.	- SQUARE FEET
B.S.&A.	- BOARD OF STANDARDS AND APPEALS	INSTR.	- INSTRUMENT (OR) INSTRUMENT	STL.	- STEEL
<b>C</b>		INSUL.	- INSULATION	STPL.	- STEEL PLATE
CEMT.	- CEMENT	<b>J</b>		STRUCT./STRL.	- STRUCTURAL STANDARD DETAIL
CL.	- CENTER LINE	J.S.C.	- JANITOR'S SINK CLOSET	STY.	- STORY
C.I.	- CAST IRON	<b>K</b>		T	- TOILET
CLC / CEL'G.	- CEILING	K. CEM.	- KEENE'S CEMENT	T.A.O.	- TYPE 'A' OPENING
COL.	- COLUMN	KINDER.	- KINDERGARTEN	T.B.O.	- TYPE 'B' OPENING
CONT./CONTN.	- CONTINUOUS CONCRETE	KP.	- KICKPLATE	T&B	- TOP AND BOTTOM
C.R.P.	- CONCRETE RUBBED AND PAINTED	<b>L</b>		T.C. / T.O.C.	- TOP OF CURB
CU.FT.	- CUBIC FEET	LAV.	- LAVATORY	T.Y.R.	- TYPICAL CLASSROOM
		LOCK	- LOCKER	T.D. / T.O.D.	- TOP OF DRAIN
		L.P.	- LOW POINT	T.O.S.	- TOP OF SLAB
		L.P.	- LOW POINT	TR.	- TREAD
		LT.	- LIGHT	<b>TYP.</b>	- TYPICAL
		L.W.C.B.	- LIGHTWEIGHT CONCRETE BLOCK	<b>U</b>	
		<b>M</b>		U.	- UNFINISHED
		M/MA./MTL.	- METAL	U.V.	- UNIT VENTILATOR
		MA.	- METAL ACCESS DOOR	U.V.O.	- UNIT VENTILATOR UNLESS OTHERWISE NOTED
		MAR.	- MARBLE	<b>V</b>	
		MAX.	- MAXIMUM	VERT.	- VERTICAL
		<b>E</b>		<b>W</b>	
		E.J./EXP. JT.	- EXTERIOR WIRE MESH GUARD EXPANSION JOINT	W/	- WITH
		ELEC.	- ELECTRIC	<b>WO.</b>	- WOOD
		EMG.	- EXPANDED METAL GUARD	<b>W.P.</b>	- WATERPROOFING
		ENCL.	- ENCLOSURE	WT.	- WEIGHT
		ENT.	- ENTRANCE		
		EQU.	- EQUIPMENT		
		EXP.	- EXPANSION		
		EXIST./EXISTG.	- EXISTING		
		<b>F</b>			
		F.	- FIXED		
		<b>F.D. / FLDR.</b>	- FLOOR DRAIN		
		F.F.R.	- FINISH FLASHING		
		FIN.	- FINISH		
		FL. VLR.	- FLOOR VENTILATOR		
		FLASHG.	- FLASHING		
		F.M.S.	- FIRE MESH SCREEN		
		F.P.	- FIREPROOFING		
		F.P.S.C.	- FRAME		
		FR.	- FRAME		
		F.T.	- FLUSH TREAD FOOTING		
		FTG.	- FOOTING		

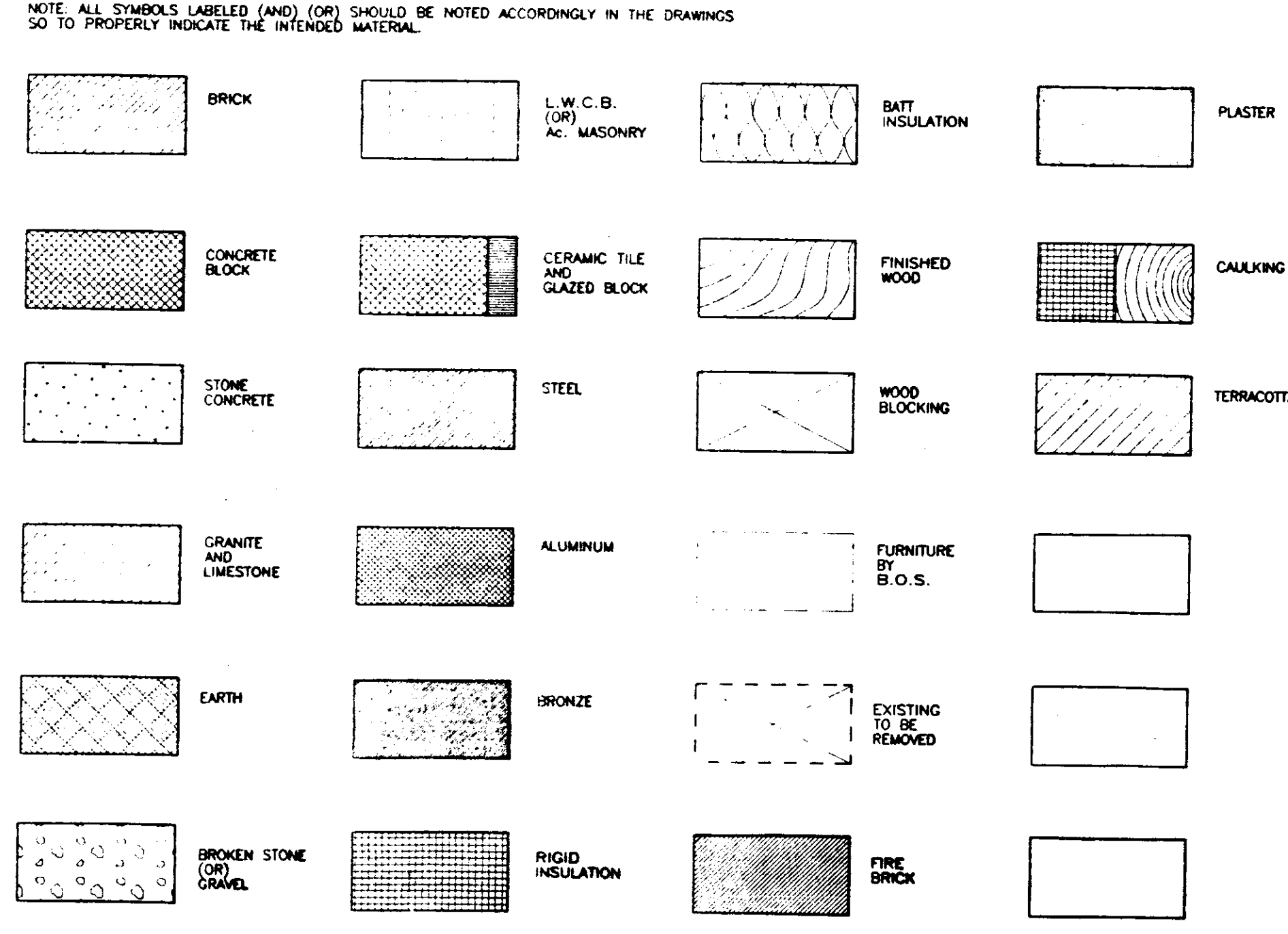
### LIST OF DRAWINGS

- TITLE SHEET
- CLOCK TOWER PLANS, SECTIONS, AND DETAILS
- CLOCK TOWER ELEVATIONS, SECTIONS, AND DETAILS

### REFERENCE SYMBOLS:



### DRAFTING SYMBOLS:



No.	Date	Revision

Block #	Lot #

Design Manager: S. DAHR  
Project Architect/Engineer: MASHI N. RAY  
Designer:  
Checked by:  
Design No.: D-002107 Date: 3/29/96

Project: WOOD CLOCK TOWER RENOVATION  
P.S.-15 RICHMOND  
Address: 98 GRANT STREET, S.I. NY 10301.

Drawing Title: TITLE SHEET

**BUILDING OF HISTORIC SIGNIFICANCE AND LANDMARK CONSIDERATION**

- THIS BUILDING IS LISTED FOR LANDMARK CONSIDERATION IN THE OFFICE OF "NEW YORK STATE OFFICE OF PARKS, RECREATION AND HISTORIC PRESERVATION". ALL FINISH MATERIALS AND WORKMANSHIP SHALL MAINTAIN SAME SHAPE, SIZE AND COLOR SIMILAR TO THE EXISTING AND AS PER REQUIREMENTS OF N.Y.S. COUNCIL OF PARK, RECREATION, AND HISTORIC PRESERVATION, N.Y.C. BUILDING DEPT. AND N.Y.C.S.C.A.
- THESE DOCUMENTS ARE DRAWN FROM AVAILABLE DRAWINGS ON RECORD. GENERAL CONTRACTOR SHALL FIELD MEASURE ALL ELEMENTS / ITEMS OF THE EXISTING BUILDING AND MAINTAIN EXISTING DIMENSIONS FOR NEW CONSTRUCTION. ALL EXISTING ELEMENTS MUST BE SAVED AFTER DISMANTLEMENT FOR COMPARISON PURPOSE. CONTRACTOR SHALL TAKE WRITTEN APPROVAL FROM THE ARCHITECT OF RECORD BEFORE DISCARDING ANY ELEMENTS / ITEMS.
- GENERAL CONTRACTOR TO SUBMIT PROFILE DRAWING OF ALL ELEMENTS / ITEMS FOR APPROVAL BY THE ARCHITECT OF RECORD.

Project: P.S. 15 RICHMOND  
WOOD CLOCK TOWER  
98 GRANT STREET.

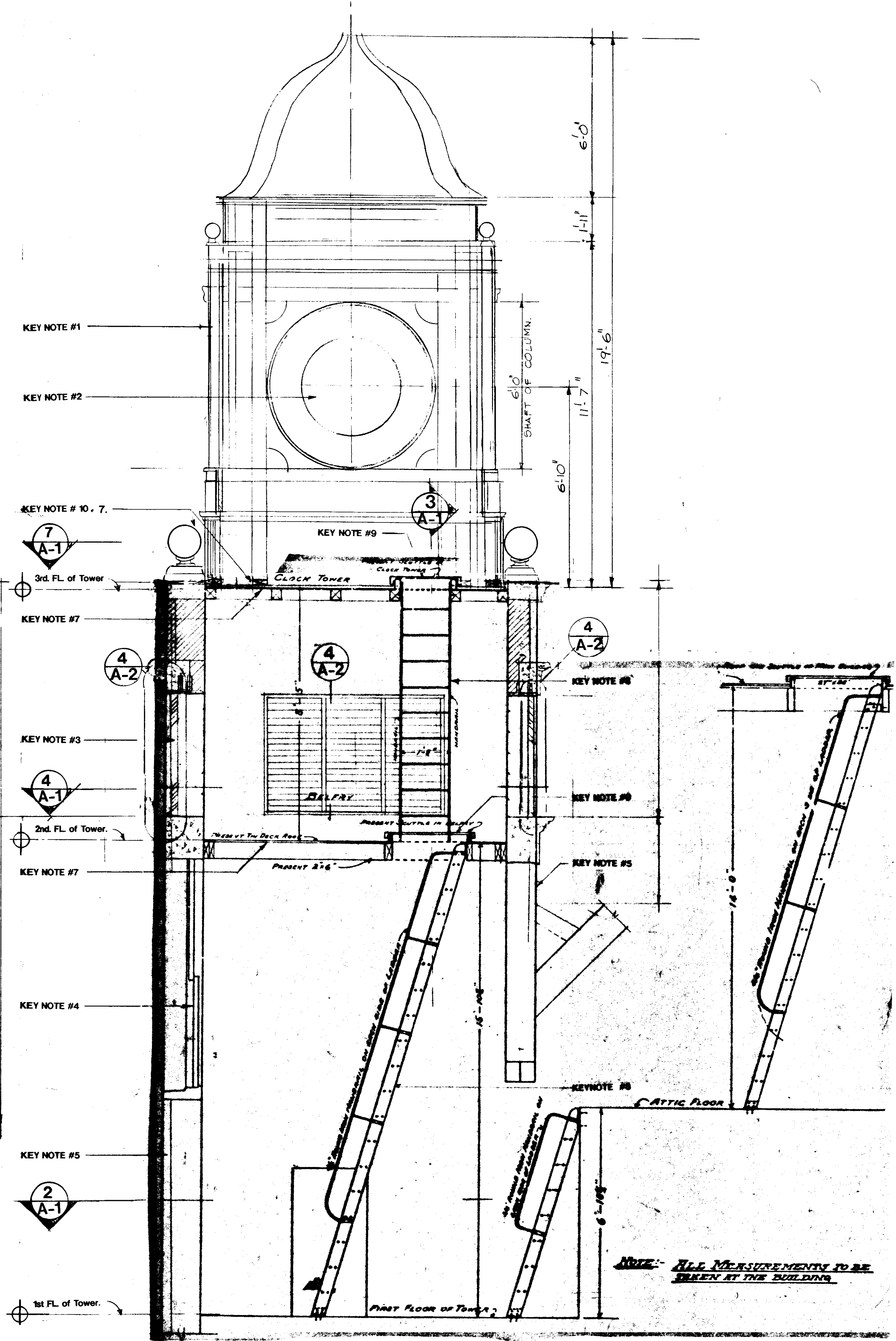
**NEW YORK CITY SCHOOL CONSTRUCTION AUTHORITY**

Barry E. Light, President & CEO

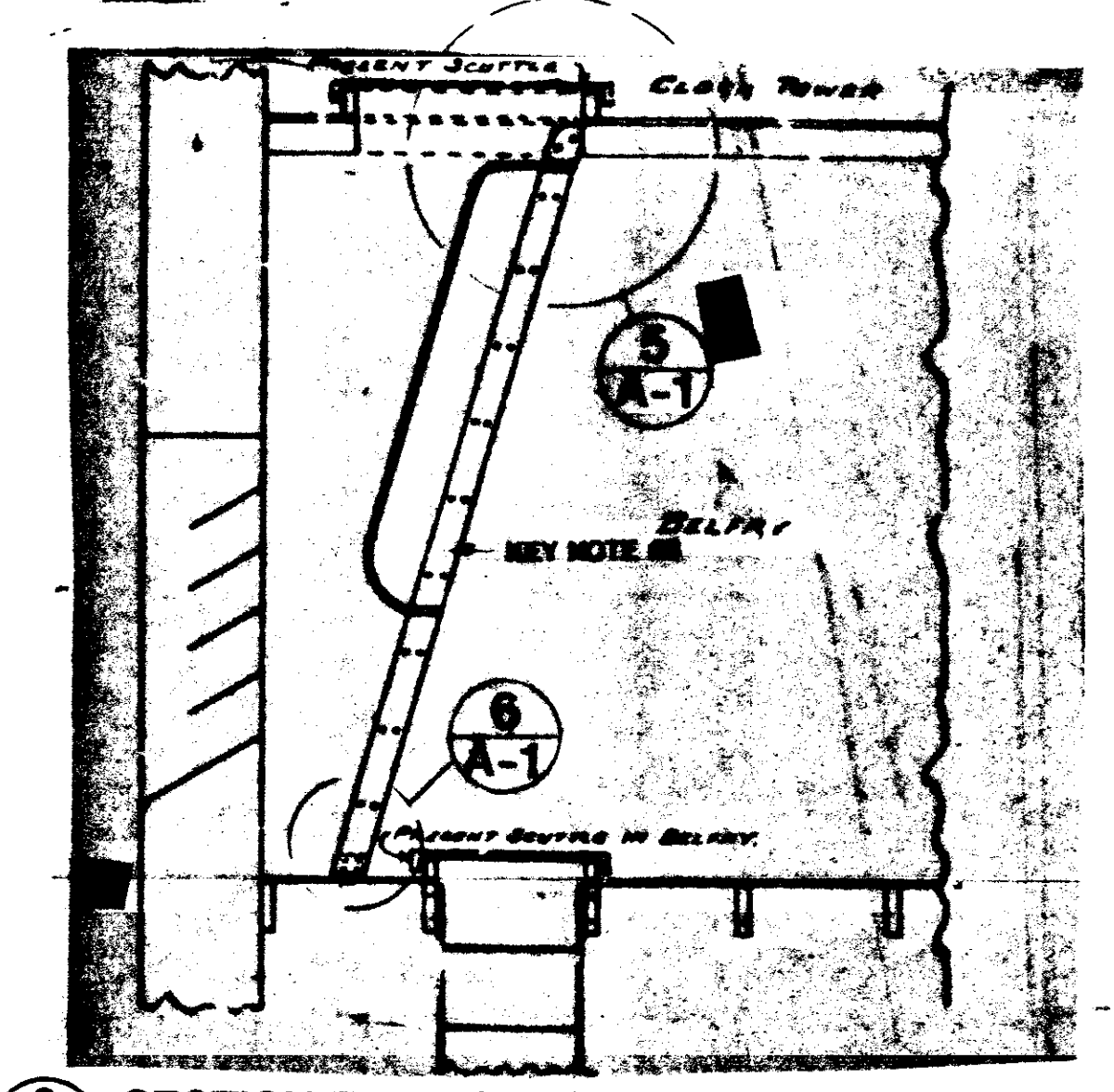
Board of Trustees  
Donald Zucker, Chairman  
Paul Alonso, Member  
Rudolph F. Crew, Ed.D., Member

Architecture & Engineering  
Ralph Steinglass F.A.I.A., Vice President  
Studio 3  
Jerry L. Pessah P.E., Design Director

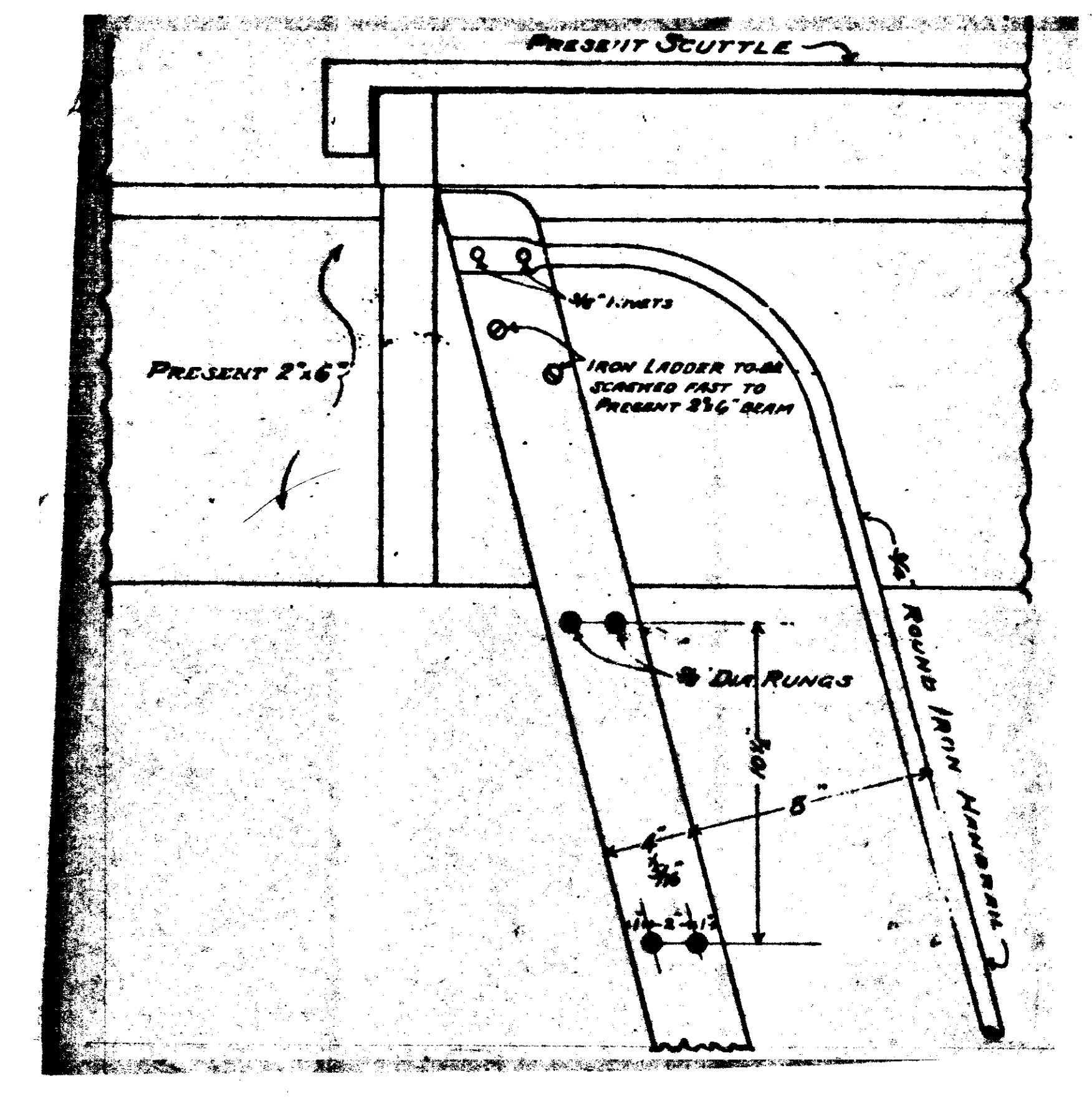
Preliminary  
Not For Construction



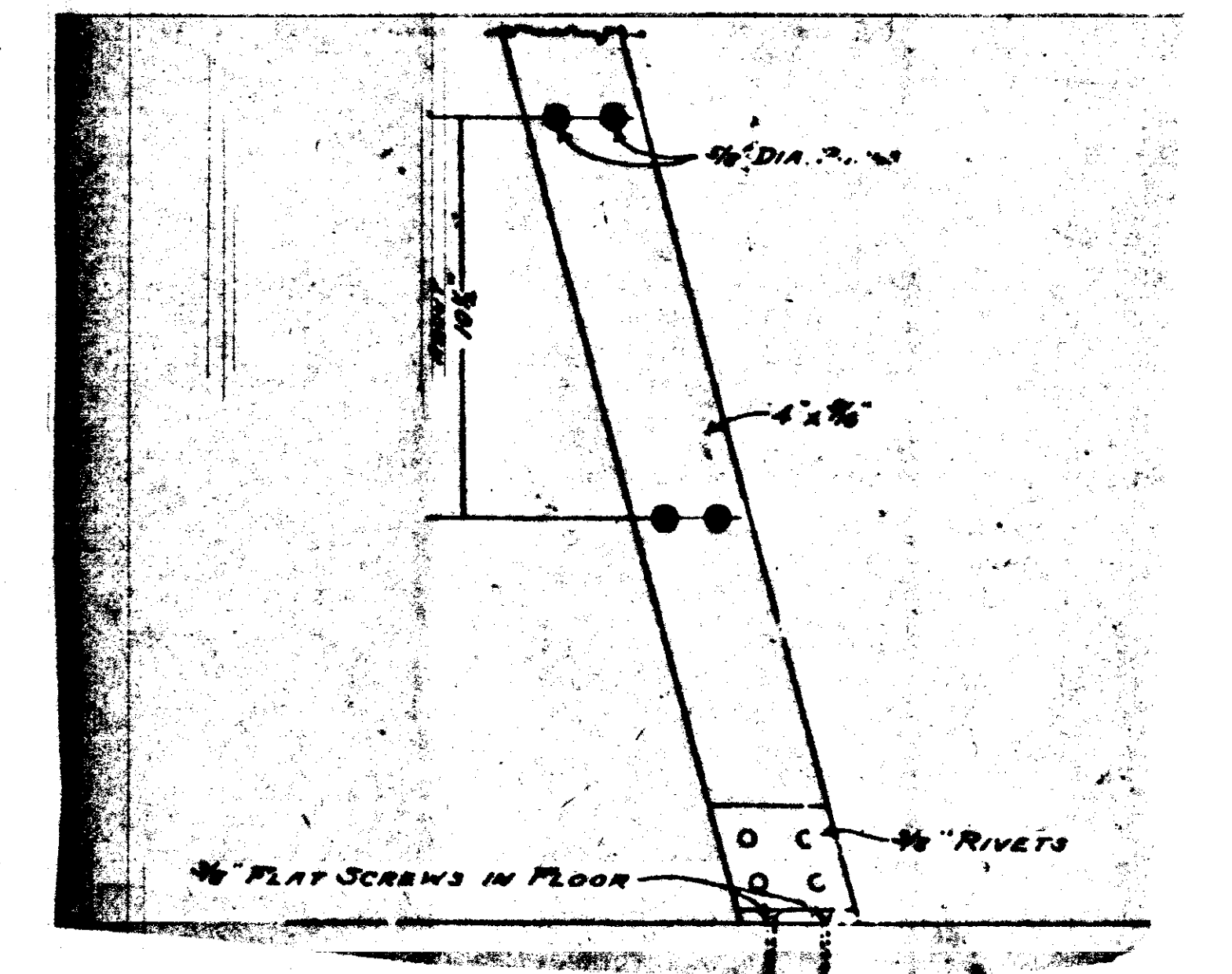
1 SECTION THRU CLOCK TOWER.  
A-1 1/2" = 1'-0"



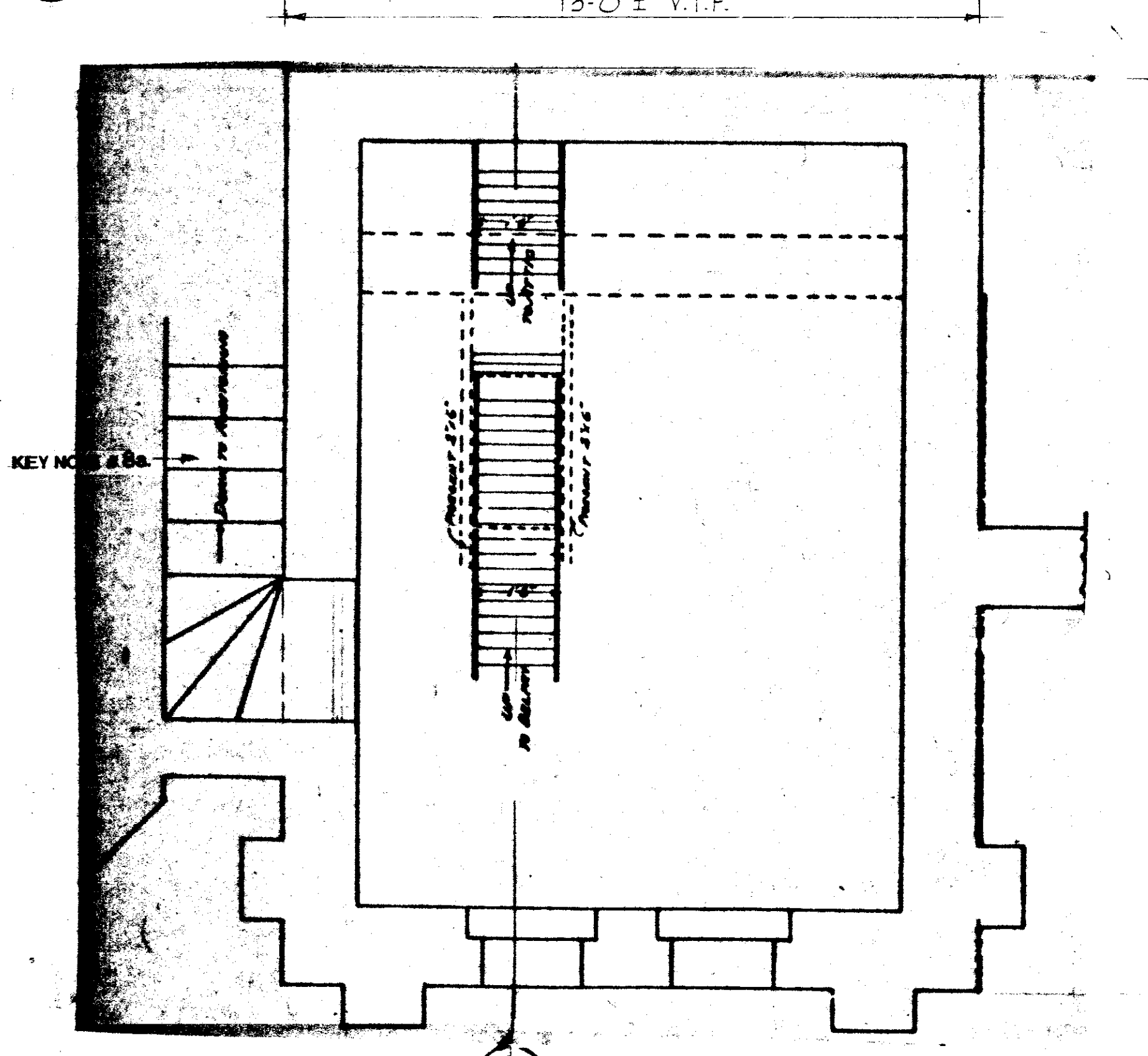
3 SECTION THRU CLOCK TOWER  
A-1



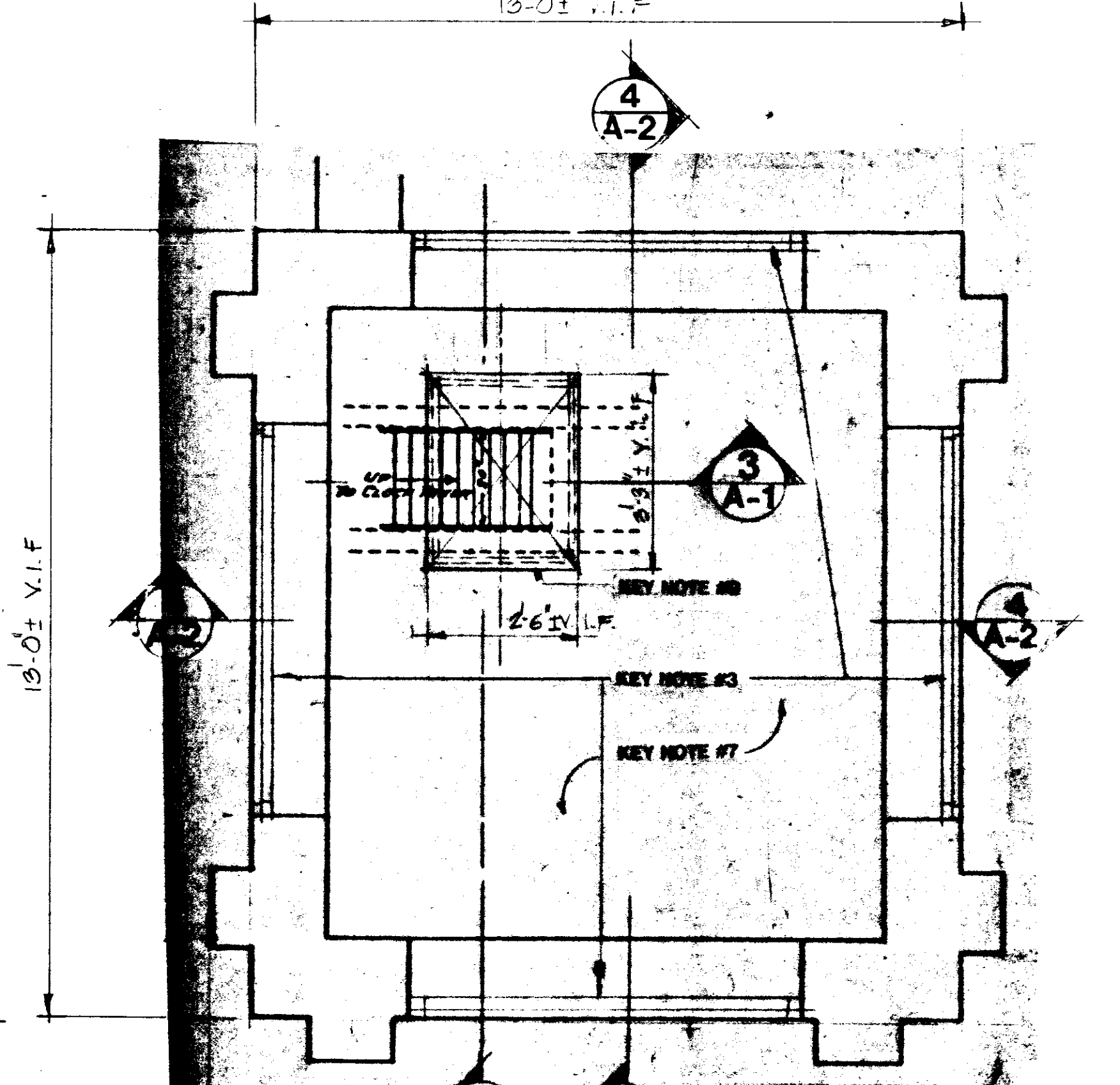
5 DETAIL  
A-1



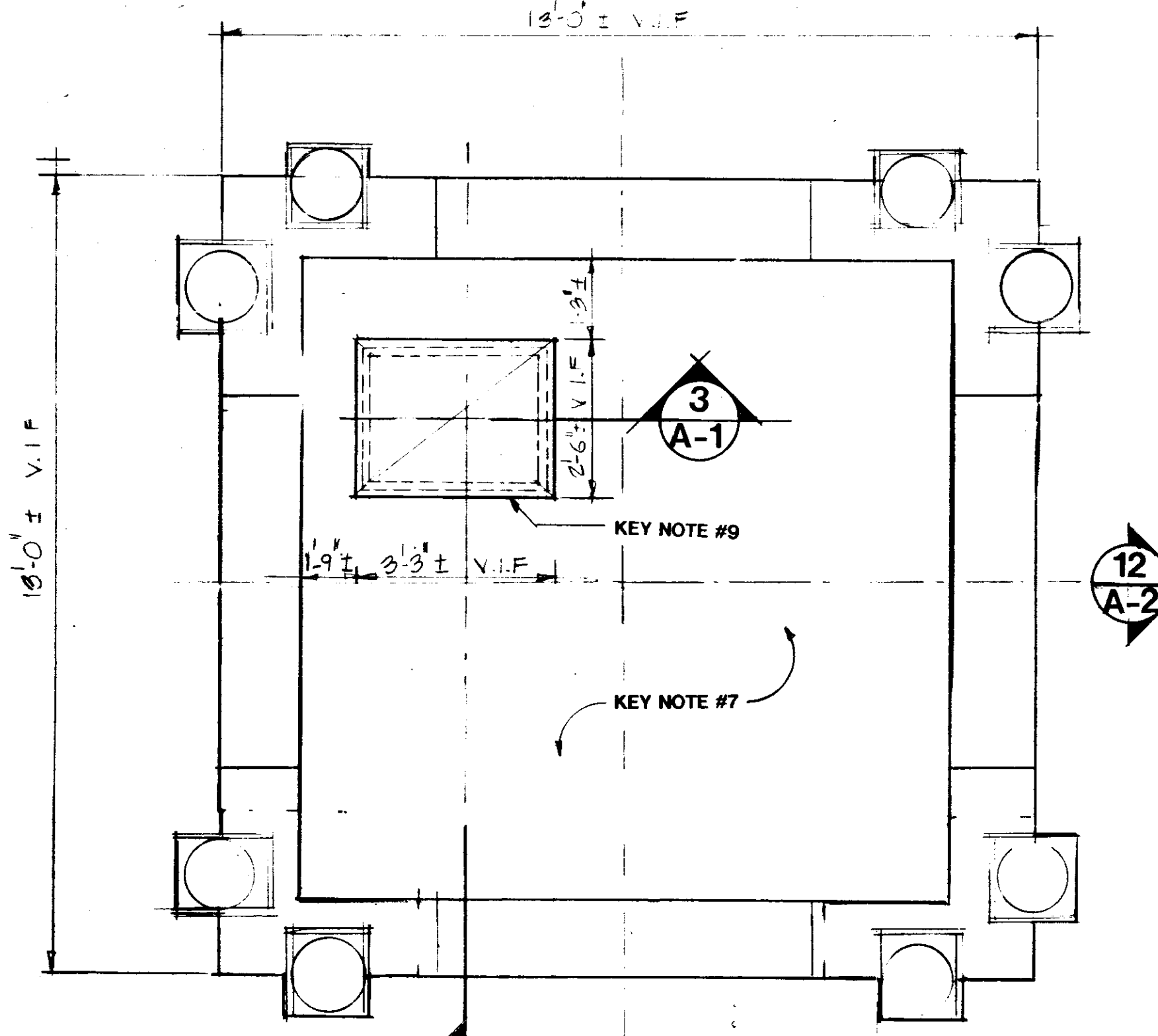
6 DETAIL  
A-1



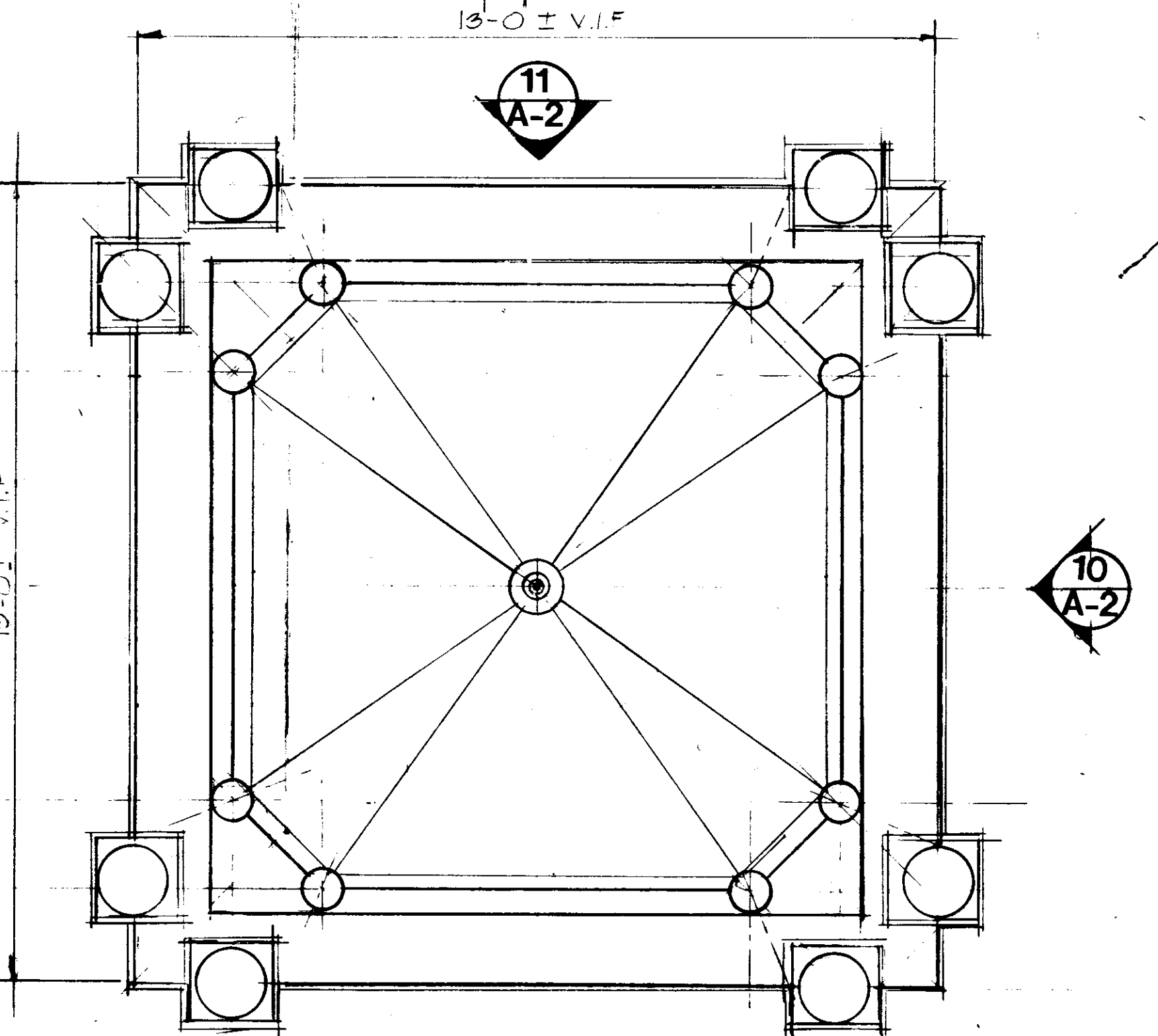
2 PLAN OF FIRST FLOOR OF TOWER  
A-1 1/2" = 1'-0"



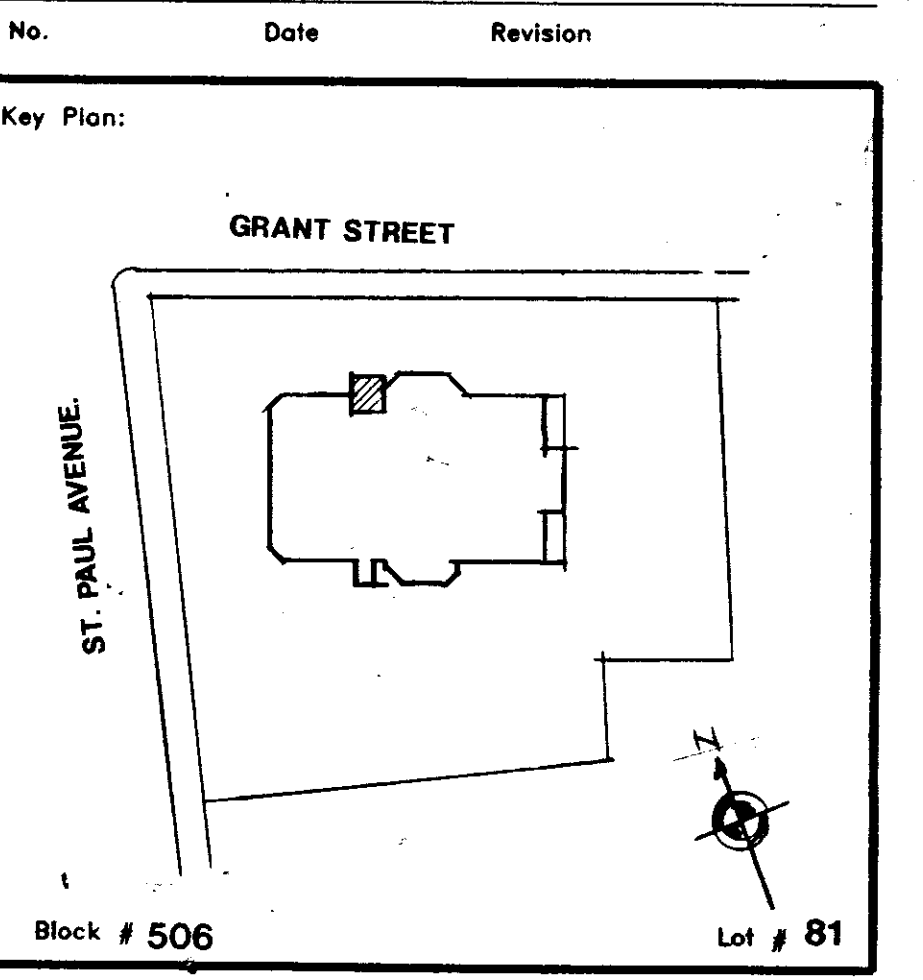
4 PLAN OF SECOND FLOOR OF TOWER.  
A-1



7 PLAN OF THIRD FLOOR OF TOWER.  
A-1



8 PLAN OF CLOCK TOWER ROOF  
A-2



No.	Date	Revision

Design Manager: S. DAHR  
Project Architect/Engineer: K.RAY  
Designer:  
Drawn by:  
Checked by:  
Design No.: D-002107  
Date: 03/29/96

Project: WOOD CLOCK TOWER  
P.S. 15 RICHMOND 98 GRANT STREET,  
Address: GRAND STREET & ST. PAUL AVE., S.I. N.Y.

Drawing Title:  
**CLOCK TOWER  
PLANS, SECTIONS,  
& DETAILS.**

Drawing No.:

A-1  
R02

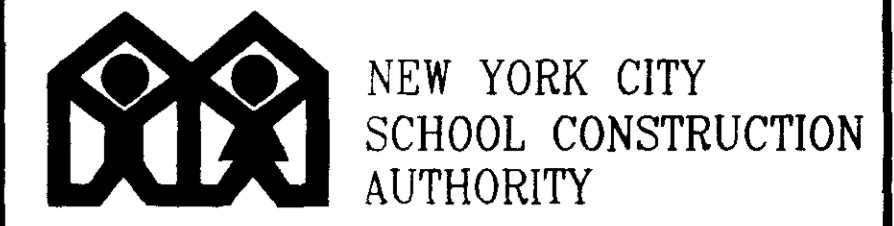


**BUILDING OF HISTORIC SIGNIFICANCE AND LANDMARK CONSIDERATION.**

**KEY NOTES**

1. REMOVE ALL MATERIALS SHOWN WITHIN THE HATCHED AREA. REPLACE WITH NEW MATERIALS TO MATCH EXISTING SHAPE SIZE COLOR INCLUDING SIDING, FRAMING, COPPER DOME, CLOCK ETC. WOODEN CLOCK TOWER PORTION MAY BE PREFABRICATED IN THE FACTORY.
2. REMOVE ALL EXISTING CLOCK FACES & REPLACE WITH NEW CLOCK FACES TO MATCH EXISTING STYLE & MATERIAL. NO NEW CLOCK MECHANISM REQUIRED.
3. REMOVE AND REPLACE WOOD LOUVERS WITH NEW TO MATCH EXISTING.
4. REMOVE EXISTING WOOD WINDOWS. INSTALL NEW ALUMINUM WINDOWS TO MATCH EXISTING SHAPE, SIZE, AND COLOR AS SELECTED BY THE ARCHITECT. LEXAN MR-5 SHALL BE USED INSTEAD OF GLASS.
5. CUT AND REPOINT ALL MORTAR JOINTS TO MATCH EXISTING COLOR OF MORTAR.
6. REMOVE BROKEN/CRACKED, PROJECTING CONCRETE / LIMESTONE CORNICE. REPLACE WITH GLASS FIBER REINFORCED CONCRETE (GFRC) MOULDING TO MATCH EXISTING SHAPE, SIZE AND COLOR.
7. REMOVE AND INSTALL NEW WOOD FLOOR & WOOD JOISTS.
8. REMOVE EXISTING STEEL LADDER, SCRAPE, PAINT, AND REINSTALL.
9. REMOVE WOOD STAIR FROM 3rd FL. LEVEL TO 1st LEVEL OF CLOCK TOWER. REPLACE WITH NEW STAIR TO MATCH EXISTING.
10. REMOVE AND INSTALL NEW HATCH DOOR TO MATCH EXISTING SIZE.
11. REMOVE ALL BRICKS. INSTALL NEW BRICKS TO MATCH SHAPE, SIZE, AND COLOR INCLUDING COLOR AND THICKNESS OF MORTAR JOINTS FROM 2nd FL. OF TOWER TO 3rd FL. OF TOWER.
12. REMOVE EXISTING PROJECTED-OUT CORNICE/LINTEL AND ALL MASONRY WORK ABOVE GRILLE TO TOP OF TOWER. PROVIDE THREE (3) 3.5 x 3.5 x .5 ST. LINTELS, FABRIC FLASHINGS AND ALL DECORATIVE MASONRY WORK TO MATCH EXISTING WORK. REPLACE "TERRA COTTA REPLICA" MADE OF "GLASS FIBER REINFORCED CONCRETE" (GFRC)
13. REPLACE MISSING CONCRETE BALL (APPROX. 12 IN. DIA.) AND PEDESTAL SAME SIZE, SHAPE, WITH GLASS FIBER REINFORCED CONCRETE.
14. REMOVE EXISTING AND INSTALL NEW ELECTRICAL JUNCTION BOX, WIRING, CONDUIT, SWITCH, AND LIGHT FIXTURE CONNECTIONS ON FIRST FLOOR LEVEL OF CLOCK TOWER.
15. CLEAN ALL BIRD DROPPINGS.

Project: P.S. 15 RICHMOND  
WOOD CLOCK TOWER  
98 GRANT STREET.



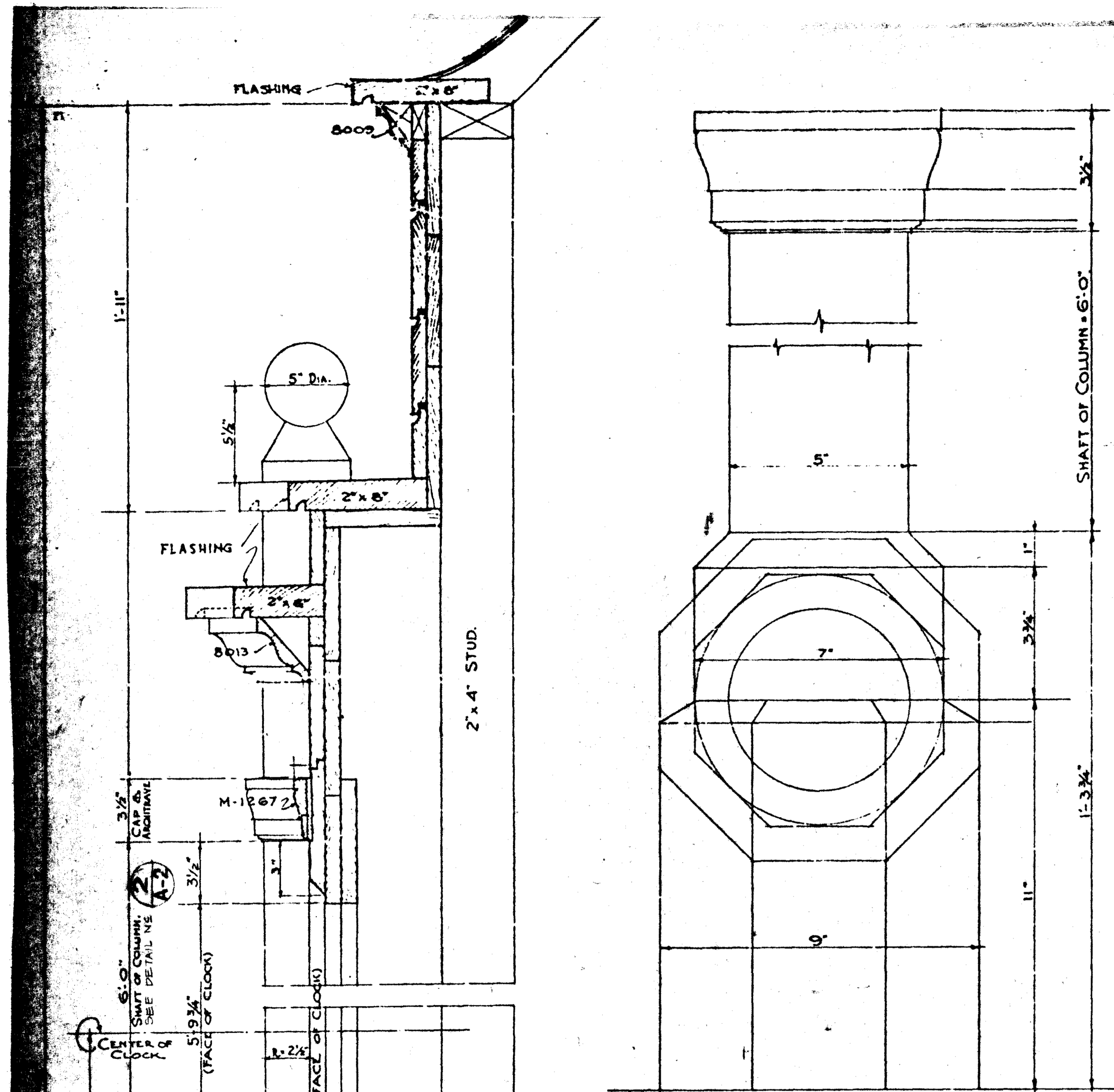
Barry E. Light, President & CEO

Board of Trustees

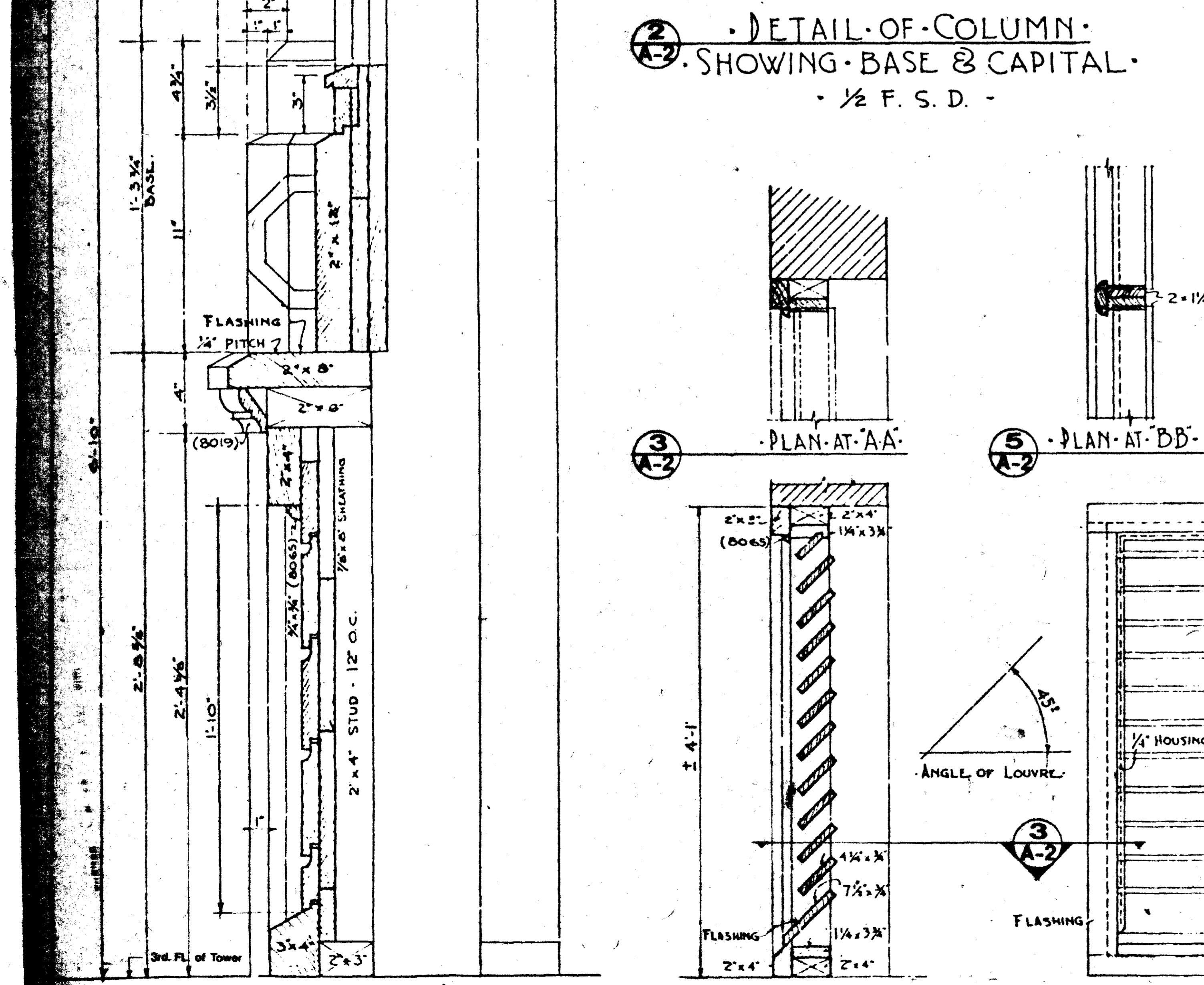
Donald Zucker, Chairman  
Paul Abramo, Member  
Rudolph F. Crew, Esq., Member

Architecture & Engineering  
Ralph Stenglass F.A.I.A., Vice President  
Studio 3  
Jerry L. Pessah P.E., Design Director

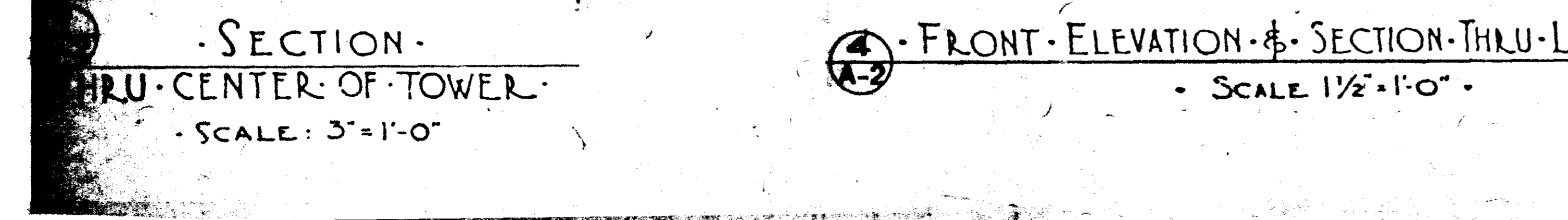
Preliminary  
Not For Construction



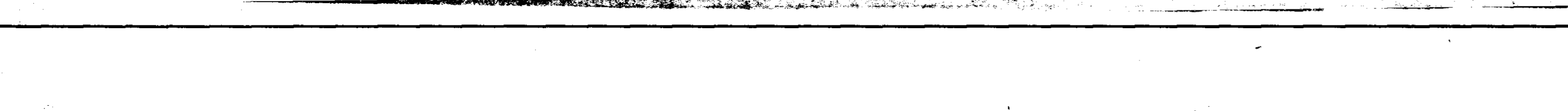
2. DETAIL OF COLUMN SHOWING BASE & CAPITAL - 1/2 F.S.D.



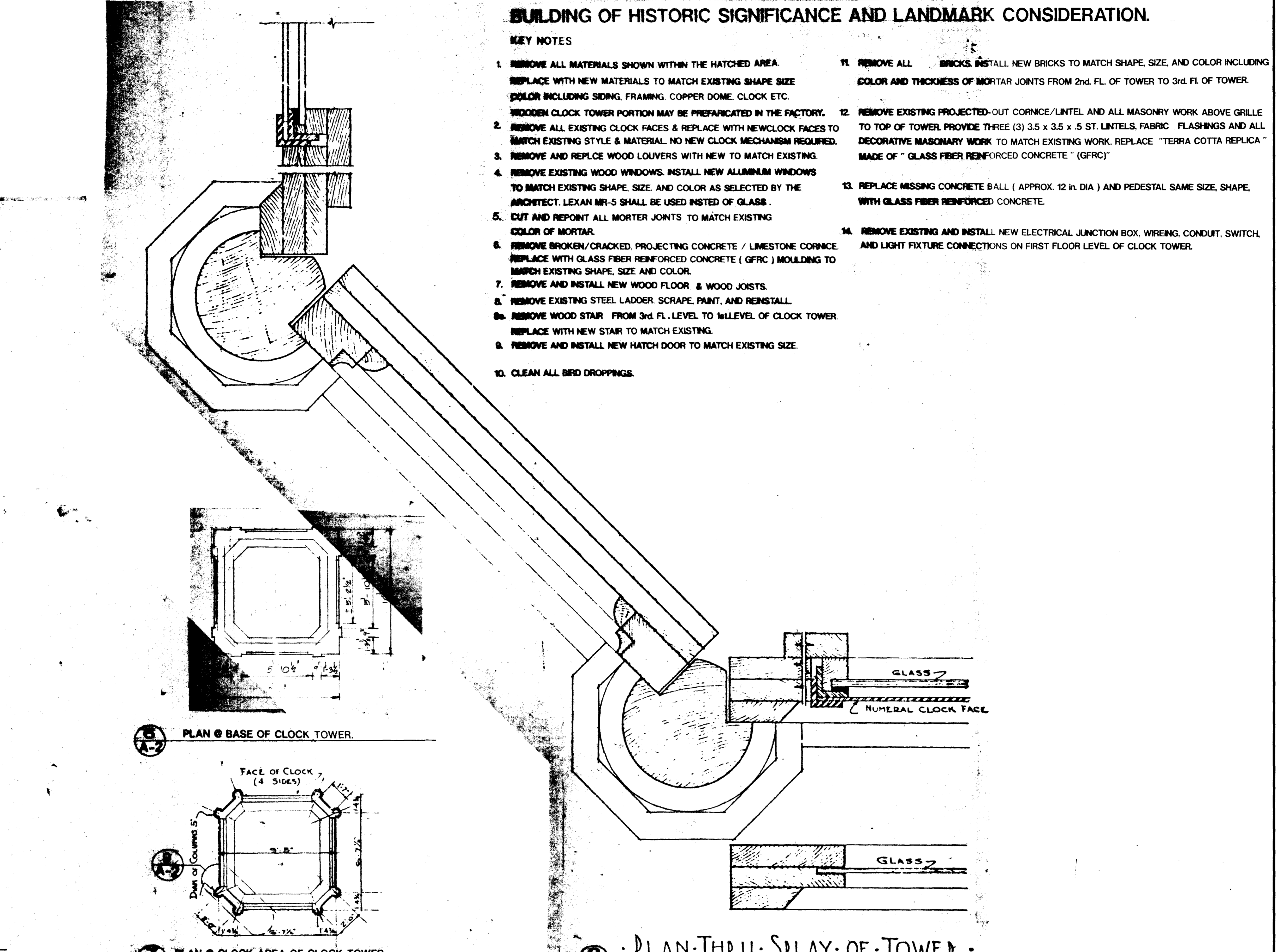
3. SECTION THRU CENTER OF TOWER - SCALE: 3"=1'-0"



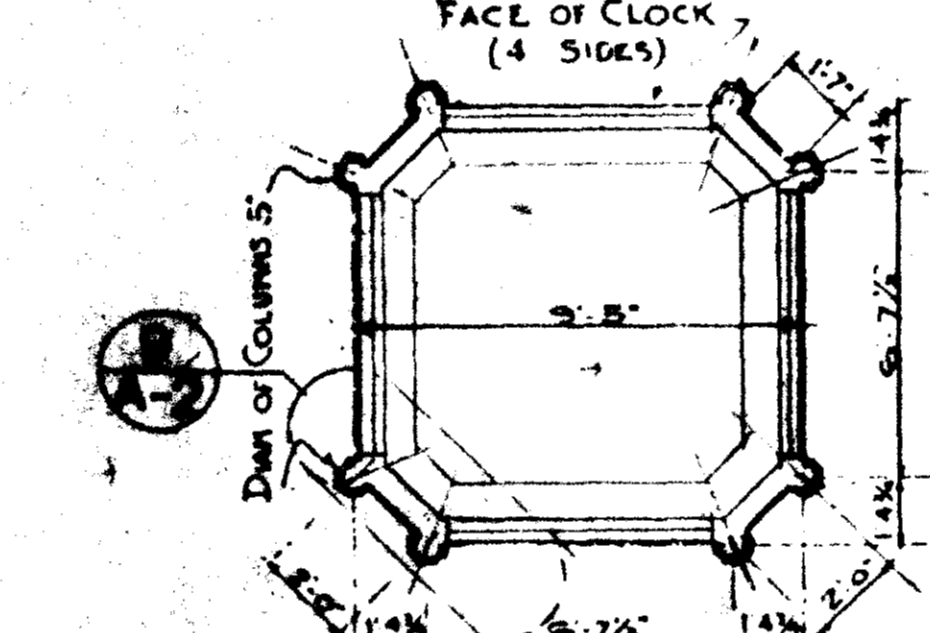
4. FRONT ELEVATION & SECTION THRU LOUVRE - SCALE 1 1/2"=1'-0"



5. PLAN AT AA - PLAN AT BB

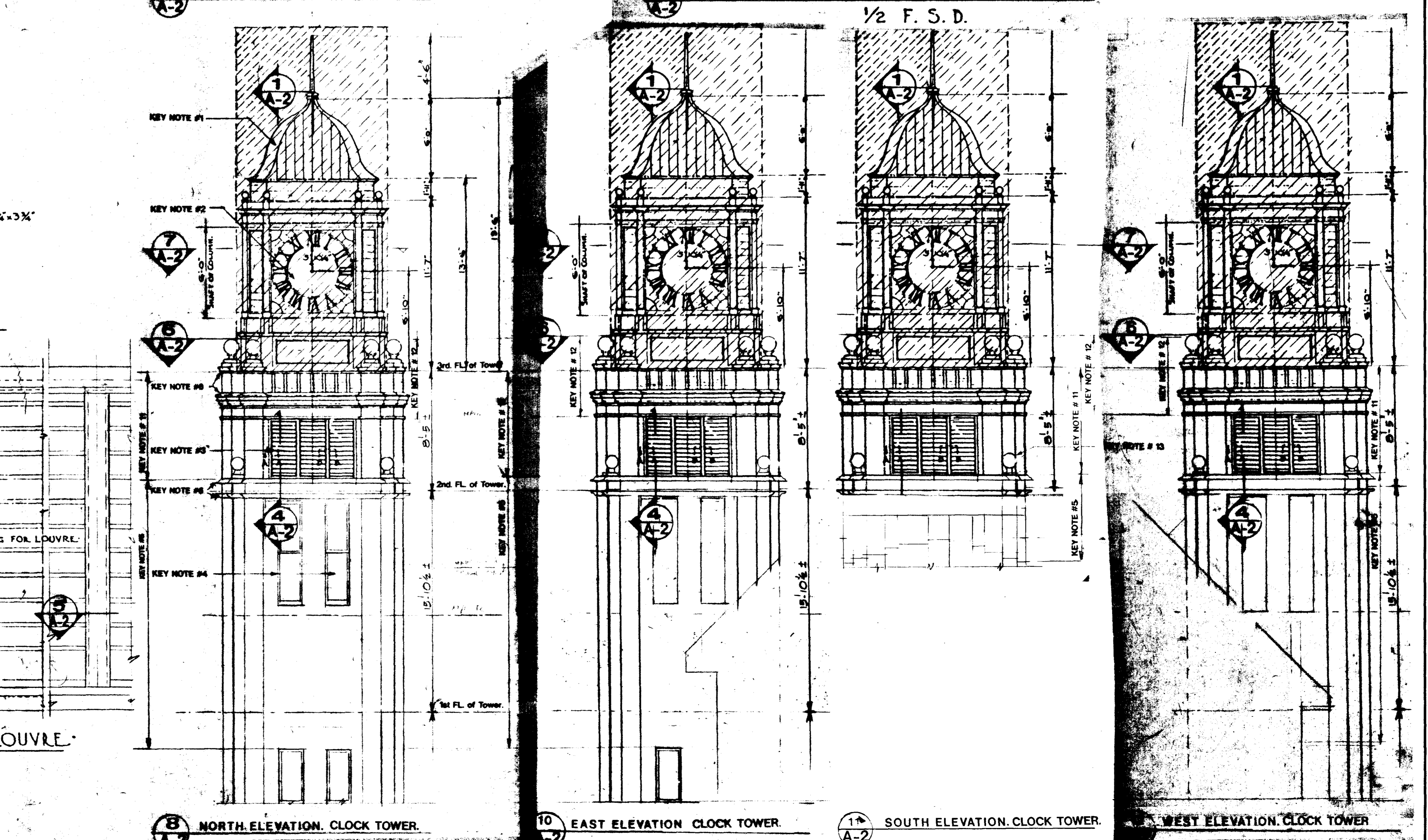


6. PLAN @ BASE OF CLOCK TOWER



7. PLAN @ CLOCK AREA OF CLOCK TOWER

8. PLAN THRU SPIRE OF TOWER - 1/2 F.S.D.

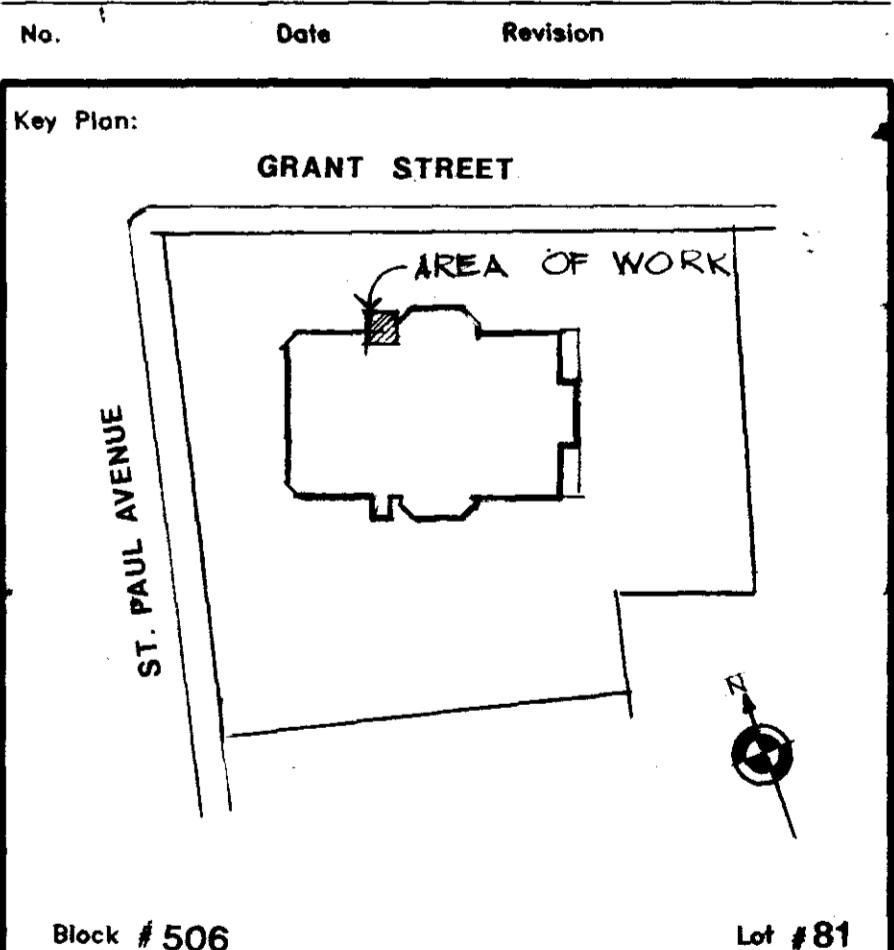


9. NORTH ELEVATION, CLOCK TOWER

10. EAST ELEVATION, CLOCK TOWER

11. SOUTH ELEVATION, CLOCK TOWER

12. WEST ELEVATION, CLOCK TOWER



Design Manager: S. DAHR  
Project Architect/Engineer: M. BAY  
Designer:  
Drawn by:  
Checked by:  
Design No.: D-002107 Date: 03/29/96

Project: WOOD CLOCK TOWER  
Address: P.S. 15 RICHMOND 98 GRANT STREET,  
GRAND STREET & ST. PAUL AVE., S.I. N.Y.

Drawing Title:  
**CLOCK TOWER. ELEVATIONS, SECTIONS, & DETAILS.**

A-2

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**

**I. SCOPE OF INVESTIGATION, FINDINGS & CONCLUSIONS**

**Scope of Investigation for Current Project:**

The current project, D022292, was initiated on August 1st, 2023, when the SCA tasked CPL Architecture Engineering Planning (CPL) with an emergency project to investigate rotted wood elements on the clock tower cupola.

A masonry tower supports the wooden cupola above. The last restoration project, related to the clock tower, found in Alchemy, which also included work for exterior masonry, was project #D004979 in 2000. No records of more recent work or maintenance could be found.

In order to determine the condition of the Clock Tower's facades, windows, and roofs, and to determine the cause of the failures that precipitated this emergency the following investigations were made:

1. Research of available original documents for this building.
2. Observation and mapping of current damage at the exterior and interior of the building. (*See Appendix #2*).

**Investigation Findings:**

1. Description of Existing Building Construction:

The wooden cupola sits atop the masonry clock tower. There is currently active water infiltration in the cupola and deteriorating wood sheathing and trim. The last restoration project found in Alchemy for the cupola was project #D0022107 in 1997. No records of more recent work or maintenance could be found.

The clock tower is comprised of a brick base and a wooden cupola. The cupola copper roof was installed in 1997 in project #D0022107. No damage was observed to the copper roof of the cupola. No water stains were observed on the framing or cladding below the roof indicating no water infiltration from the roof. The roof + flashing was observed to be in good condition.

*Cupola/Spires/Towers:*

1. Siding – All exterior elevations – Damage was observed to exterior clapboard siding at base of wood framed cupola, wood trim and plywood panel around clock face, damage to header, soffit and flashing above all four clock faces was observed. Clapboard siding is rotted and has rusting fasteners.
2. Trim - Wood trim is rotted and is discolored from water penetration. Staining from rusted fastener heads bleeding through paint finish is visible with some sections rotted away. Flat plywood panels and trim surrounding the clock faces around these openings have significant rot.

**NYC School Construction Authority**  
**Detailed Submission to NYS Historic Preservation Office**  
**Arthur D. Phillips S.I., Staten Island, Building ID: R829**  
**Design #: D022292, LLW#: 136055**

3. Paint - All wood trim has chipped or peeling paint.
4. Flashing- Water penetration was observed to be coming from two ledges located above the clock faces on all four sides of the cupola. Water staining and rotted wood was found behind the exterior ledges and on the secondary "infill" framing below them.
5. Custodian requested that any materials used to reconstruct the cupola be non-maintenance items. The use of PVC or synthetic trim was requested to eliminate the need to repaint the cupola in the future.

*Interior Damage:*

Structural framing was observed from the interior of the cupola. There are two sets of framing for the cupola- one to support the upper roof, and one outboard of that framing, that supports the exterior walls and clockfaces. Framing for the lower exterior walls sits outboard of the roof framing by 9- 1/2".

1. Wood framing for the upper roof is in good condition with no deterioration or rot noted. All posts are bolted to structural members with fasteners and hardware in good condition. No rust.
2. Blocking has been added to support the flat plywood infill and trim in the corners around the round clock faces. This non-structural secondary framing and the plywood infill are severely deteriorated.
3. The floor of the 3rd Floor level of the clock tower is 3/4" plywood sheathing on 2x6 wood framing. The plywood was observed to be wet with areas of rot at the seams. Framing for the cupola floor was observed from below. The 2x8 framing was observed to be in good condition with no deterioration observed. Framing was painted and had some areas of flaking paint.
4. The interior framing and supports of the cupola are painted and in fair to good condition. Some staining and flaking paint was observed at the areas of water infiltration from the defective flashing areas.

*Cupola Clock:*

There are four translucent clock faces on the cupola- one on each side. The hands are controlled by one mechanism in the center of the cupola and connected with rods. The clock faces are installed into window framed openings with headers, jack studs and sills. There is no framing or sheathing behind the clock faces. The clock faces are essentially windows that are intended to be backlight during the evening.

1. Clock mechanism is not working.
2. The white translucent film material on the translucent clock faces was observed to be in poor condition. Cracking, splitting, and missing sections were observed.
3. The clock dial and numbers are made of an aluminum grill fastened to the exterior of the cupola walls. The finish of the dial and clock hands is in fair to poor condition and has some areas of fading and pitting observed.

**NYC School Construction Authority**  
**Detailed Submission to NYS Historic Preservation Office**  
**Arthur D. Phillips S.I., Staten Island, Building ID: R829**  
**Design #: D022292, LLW#: 136055**

4. One clock mechanism in the cupola operates all four clock faces. Clock control mechanism is wired for power. At the time of inspection, the clocks were not operating.
  5. Ceiling hung light in the cupola was not operating. The fixture had been wrapped during prep for a previous paint job and never unwrapped.
2. Test Findings: No tests nor probes were needed in this project due to the visible damage shown at the building.

**Investigation Conclusions:**

The wooden cupola at Arthur D. Phillips S.I has suffered weathering and deterioration since its renovation in 1997. The lack of regular painting and maintenance has allowed the wood siding and trim to fail and permit water penetration.

Damage to wood exterior trim and siding was observed on all faces of the cupola. The wooden trim and cladding elements are water damaged and rotted and require replacement. This will require exterior sidewalk bridging to protect the sidewalks and entrances below.

The Division and School Facilities noted that the indicated work was beyond the scope of maintenance. Based upon our investigation, we concur that the severe deterioration of the trim elements on the exterior raises the possibility of falling debris from the cupola during high winds. However, there is no apparent damage to the structure of the cupola and no danger of collapse.

Removal and replacement of damaged trim and siding should be undertaken to determine to bring the cupola into good, watertight condition. In addition to repairing the cupola wood, replacement of the clock mechanisms is recommended.

**NYC School Construction Authority**  
**Detailed Submission to NYS Historic Preservation Office**  
**Arthur D. Phillips S.I., Staten Island, Building ID: R829**  
**Design #: D022292, LLW#: 136055**

**J. RECOMMENDED WORK**

The recommendations of this report are to replace the rotted wood siding and trim of the cupola. While there is no apparent damage to the structure of the cupola, and no danger of collapse, the severe deterioration of the trim elements on the exterior raises the possibility of falling debris from the cupola during high winds.

Because original distinctive features have been removed, or altered, replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence. In accordance with SOTI Standard for Rehabilitation #6, the new features shall match the old in design, color, texture, and other visual qualities and, where possible, materials.

The damaged exterior siding, trim and flashings should be removed from the underside of the roof down to the start of the masonry tower. The exterior sheathing should be replaced, and a new weatherproof membrane installed on the sheathing. New copper flashings should be installed to cap all ledges and protrusions. All wood trim being replaced will match existing in size, shape, and construction. Siding will be clear cedar clapboard to match existing exposure dimension and all trim elements will be fabricated from cedar or clear poplar depending on profile and dimension.

All fasteners holes will be plugged and all joints are to be sealed. All wood surfaces will be primed and painted with two coats of exterior paint to match existing color.

The existing clock mechanism is not working and should be repaired or replaced. Clock face, numerals, hands and mechanism will match existing. The existing light fixture and illuminated clock faces should be brought back into service.

The copper roof of the cupola was in good condition no repairs are required. Masonry of the clocktower to be protected during all work on the wood cupola above. No work is required.

*Repair cupola, spires and towers including:*

1. Removing the damaged siding, trim and flashings from the underside of the roof down to the start of the masonry tower.
2. Replacing the exterior sheathing and installation of a new waterproof membrane.
3. Removal and replacement of the crown and trim moldings with new to match existing size and profile.
4. Repainting entire exterior of cupola wooden elements.
5. Providing all ledges with copper caps as well as flashing extending vertically up behind the siding. New copper flashings should be installed to cap all ledges and protrusions, all joints will be soldered.
6. Repainting exterior walls of clock tower and cupola wooden elements upon completion of repairs.

**NYC School Construction Authority**  
**Detailed Submission to NYS Historic Preservation Office**  
**Arthur D. Phillips S.I., Staten Island, Building ID: R829**  
**Design #: D022292, LLW#: 136055**

7. Replacing roof access door and painting existing steel ship ladder.

*Repair interior damage including:*

1. Replacing blocking at the openings surrounding the clock faces on all sides.
2. Removing and replacing clock tower's plywood floor, install epoxy resin coating on the subfloor to provide durable weatherproof surface.
3. Prepping, priming and repainting joists and framing at the floor.
4. Repainting of entire interior of cupola, and ceiling upon completion of repairs.

*Cupola Clock:*

1. It is recommended to provide a full restoration to the existing clocks and mechanisms. The cast iron clock face numerals and hands require full refinish treatment and restoration. The work will include provision of a new motor, gears, clock hands, white acrylic infill, and a fully automatic GPS clock controller and repair of the translucent clock faces. LUMICHRON, a commercial clock company based in Michigan, has quoted:
  - a. Removal of the cast iron clock face pieces, boarding up openings, and using aluminum oxide blast, powder coat w/zinc oxide primer and architectural jet black each clock face piece with any necessary metal repairs and install new acrylic in-fill. Then they will replace the cast iron pieces on-site with the new clock parts after all the tower millwork has been finished.
2. Repairing or replacing clock mechanism and bringing illuminated clock faces back to service: The existing clock mechanism should be replaced. Vendor provide equipment and make connections to existing power.
3. Replacing broken light fixture at the top of the clock tower and bringing it back to service: To backlight the clock faces, the manufacturer is recommending the use of one LED panel at each clock face. The existing ceiling light fixture can remain to provide lighting for maintenance workers in the cupola, but 4 additional outlets will be required to provide power for the LED panels. The quote for the backlighting for the clock faces can be found in Appendix H7. This work will require primary circuit control installed by an electrician.

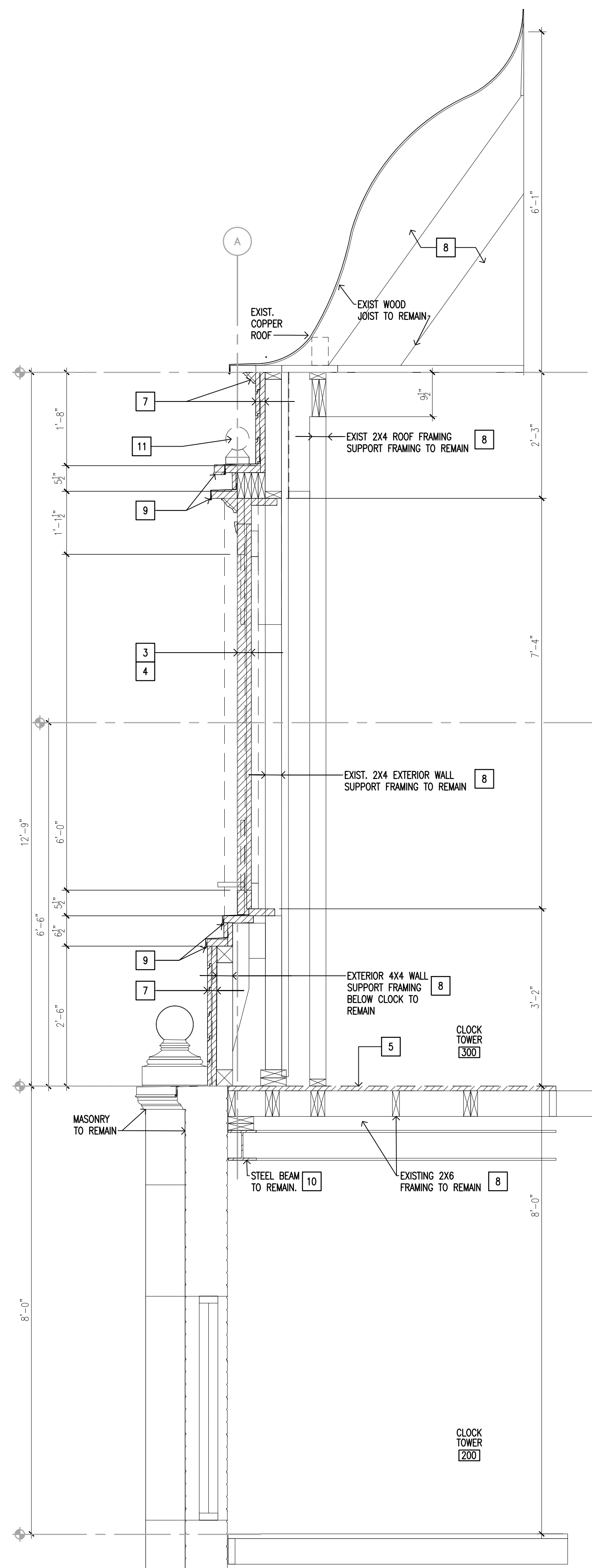
NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055

**K. REHABILITATION DRAWINGS**

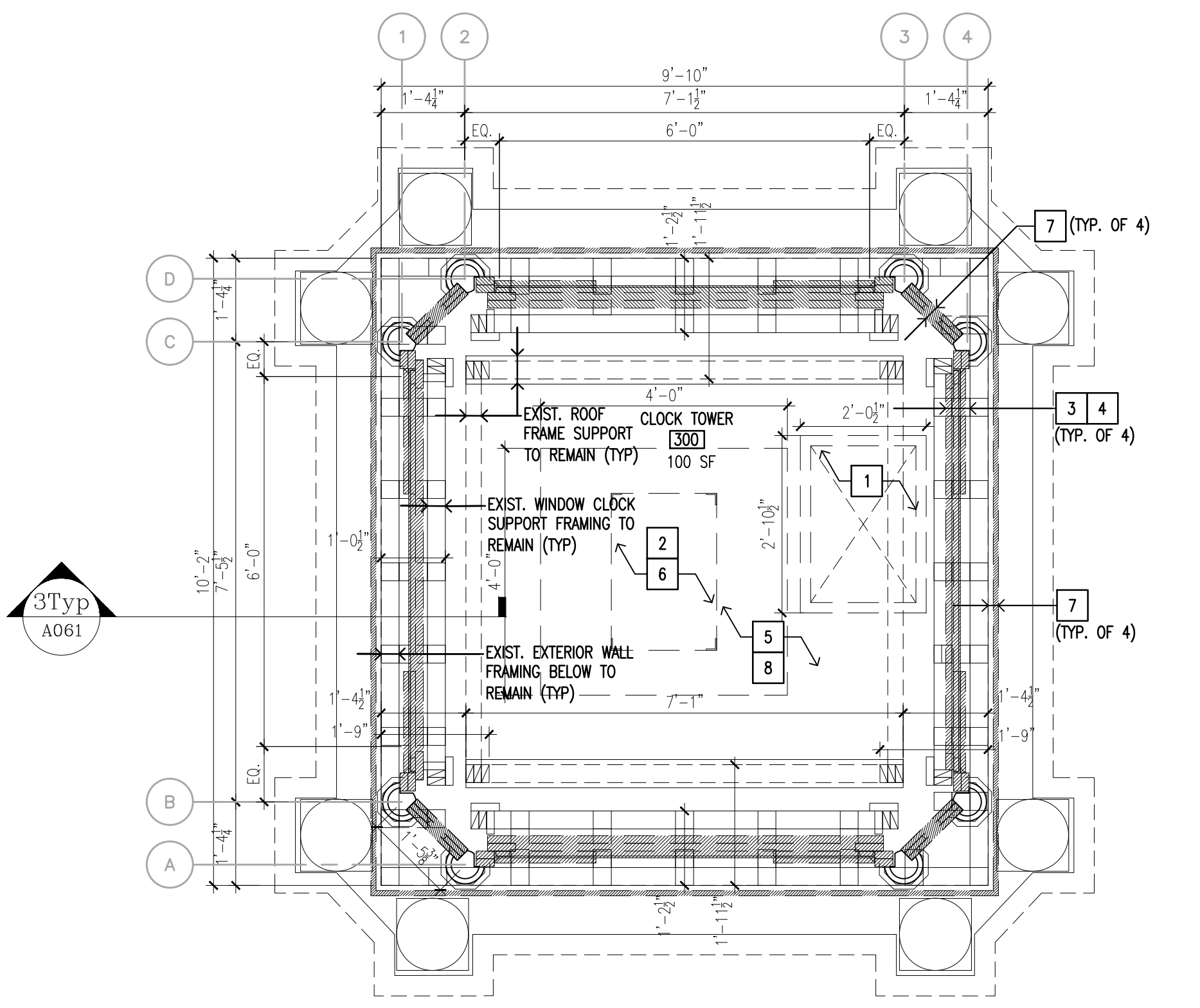
**Partial List of Construction Documents: Building Envelope - Related Drawings**

Proposed Construction Drawings

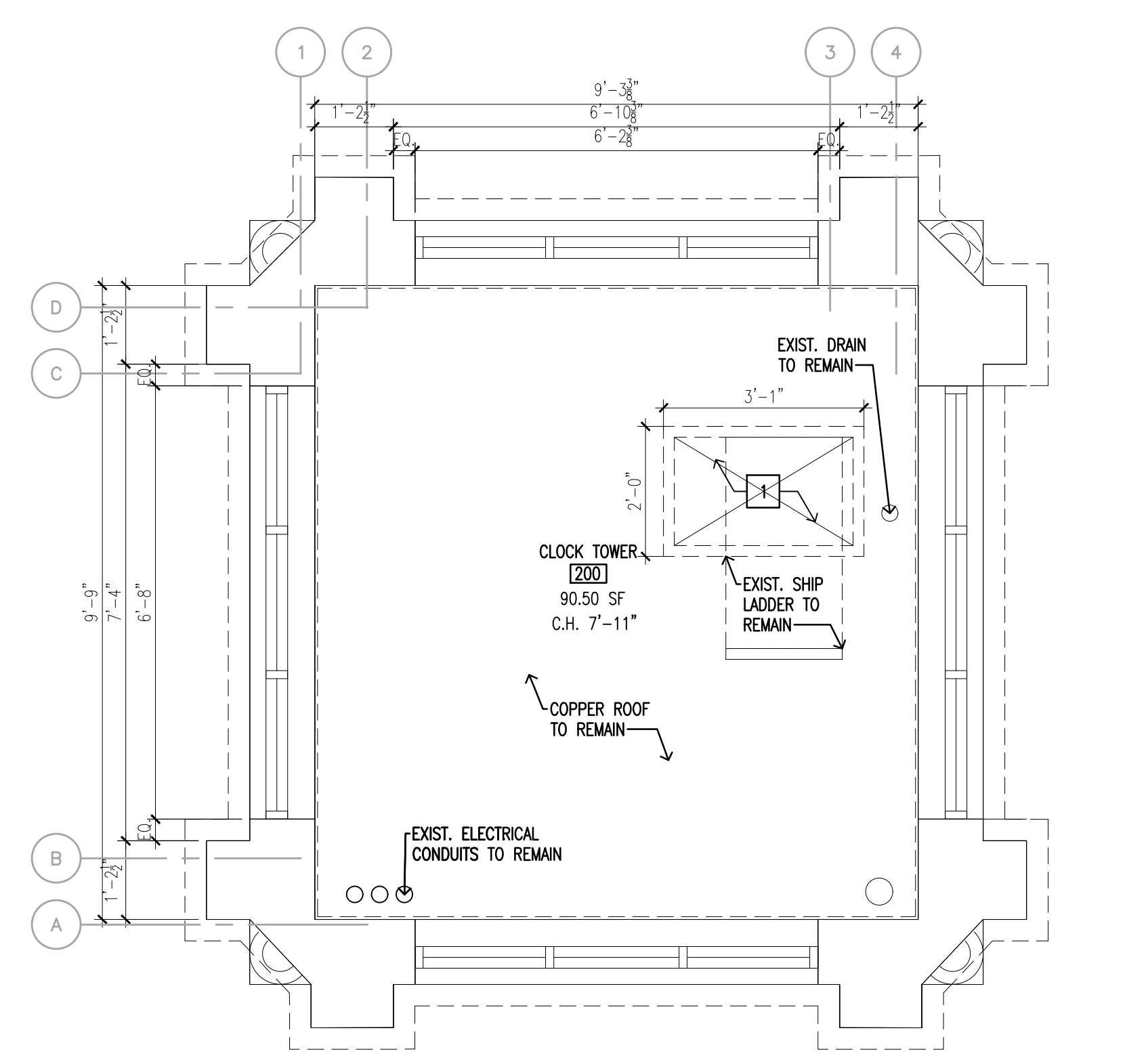
A061.00	Selective Removal – Clock Tower
A101.00	New Work – Clock Tower
A201.00	Elevations



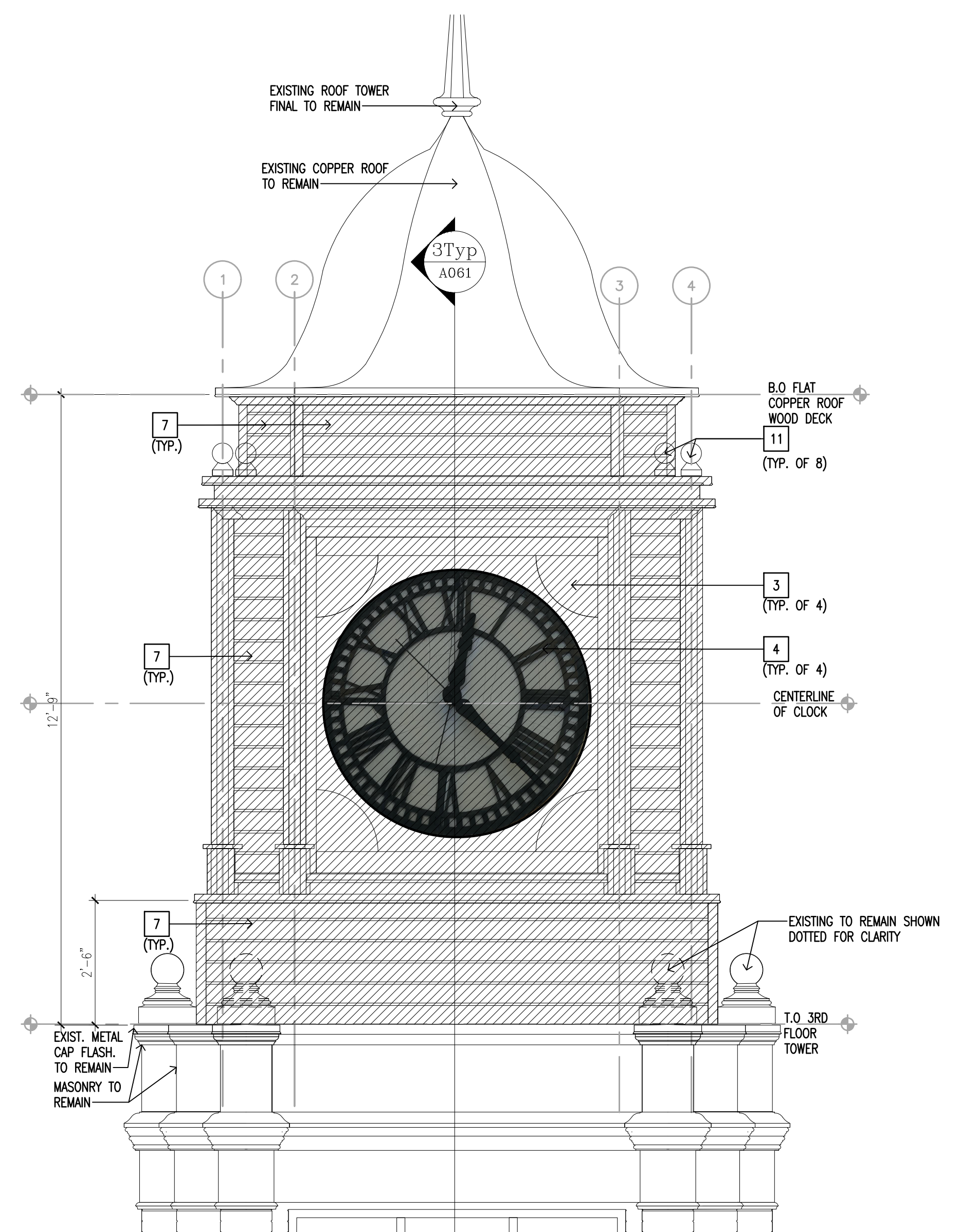
**3 WALL SECTION CLOCK TOWER**  
SCALE: 3/4" = 1'-0"  
0 8" 1'-4" 2'-8"



**2 3RD FLOOR CLOCK TOWER PLAN**  
SCALE: 1/2" = 1'-0"  
0 1' 2' 4'



**1 2ND FLOOR CLOCK TOWER PLAN**  
SCALE: 1/2" = 1'-0"  
0 1' 2' 4'



**3 EXTERIOR ELEVATION TOWER**  
SCALE: 1/2" = 1'-0"  
0 1' 2' 4'

**SYMBOL LEGEND:**

# REMOVE KEYNOTE  
 [Hatched Box] REMOVE EXISTING

**SELECTIVE REMOVAL KEYNOTE:**

- REMOVE EXISTING WOOD ACCESS DOOR HATCH. CONTRACTOR TO MAINTAIN WEATHER TIGHT DURING CONSTRUCTION.
- CONTRACTOR TO DISCONNECT AND REMOVE EXISTING CLOCK MECHANISM, COORDINATE WITH ELECTRICAL.
- REMOVE ALL CLOCK INFILL TRIM, PLYWOOD AND 2X4 BLOCKING AROUND CLOCK FACE.
- REMOVE AND SAVE EXISTING CLOCK FACE INCLUDING CAST IRON CLOCK HANDS AND MONUMENTAL FACE FOR FULL RESTORATION AS PER SPECS.
- REMOVE EXISTING 1" THICK PLYWOOD FLOOR EXISTING FRAMING TO REMAIN
- REMOVE EXISTING CLOCK MECHANISM PLYWOOD PLATFORM AND 2X4 FRAMING
- REMOVE CLAPBOARD SIDING, SILL, TRIM AND BACKUP SHEATHING
- REMOVE ALL LOOSE AND DETERIORATED PAINT FROM ALL WOOD FRAMING AND CEILINGS.
- REMOVE EXISTING COPPER CAP FLASHING AT 2X4 WOOD BLOCKING.
- MACHINE CLEAN PREP AND PAINT EXISTING STEEL BEAM TO REMAIN.
- REMOVE AND SAVE EXIST. WOOD FINIAL AND BASE FOR REPAIR AND REINSTALLATION. (TYP OF 8)

**President & CEO**  
A. Nina Kubota

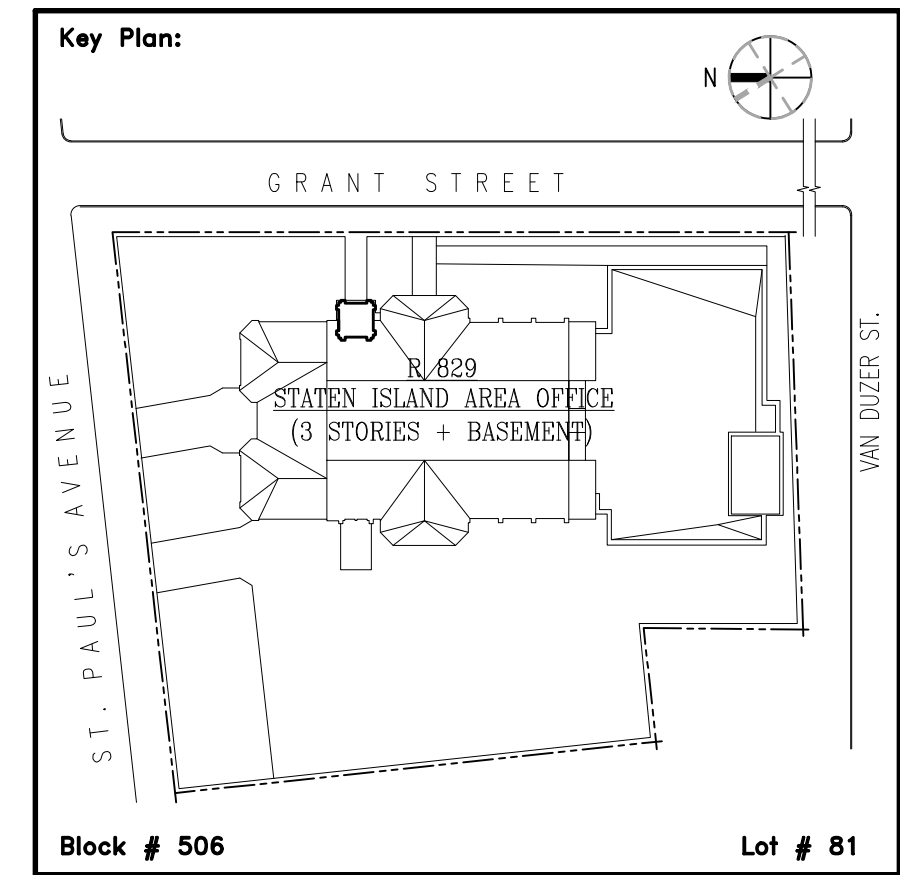
**Board of Trustees**  
Chancellor David C. Banks, Chairman  
Peter McCree  
Emily A. Youssef

**Architecture & Engineering**  
Thierry Paret, FAIA, NCARB, LEED AP, Vice President  
Design Consultant Management Studio  
Aileen del Prado, P.E. LEED AP BD+C, Senior Director  
In-House Design Studio  
María A. Gómez, P.E. LEED AP BD+C, Senior Director

**Consultants:**  
2875 ROUTE 35, SUITE 75-1  
KATONAH, NEW YORK 10536  
TEL (914) 276-0777  
FAX (914) 276-0779  
**CPLteam.com**  
ARCHITECTURE ENGINEERING PLANNING

**NOTE: Drawing may be printed at reduced scale**  
IT IS A VIOLATION OF THE STATE EDUCATION LAW SECTION 7209 (2) FOR ANY PERSON TO ALTER AN ITEM IN ANY WAY UNLESS SUCH PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, AND THE ENGINEER STAMPS SUCH CHANGES

1	12/13/2023	SHPO SUBMISSION
1	11/22/2023	ZONE OF PUBLIC PROTECTION SITE PLAN



SCA Design Manager:	ASHRAF ELIAS, PE	
Project Architect/Engineer:	DAVID SAMMEL, RA	
Discipline Lead:	DAVID HUNSBERGER, RA	
Designer:	JUAN POLANCO	
Drawn by:	ALEXIS O'ROURKE	
Checked by:	DAVID SAMMEL, RA	
Design No or LLW No.:	Building ID:	Date:
D022292	R829	00/00/2023

Project:  
**ARTHUR D. PHILLIPS SCHOOL  
CLOCK TOWER REPAIR @ R829  
PERMANENT FIX**

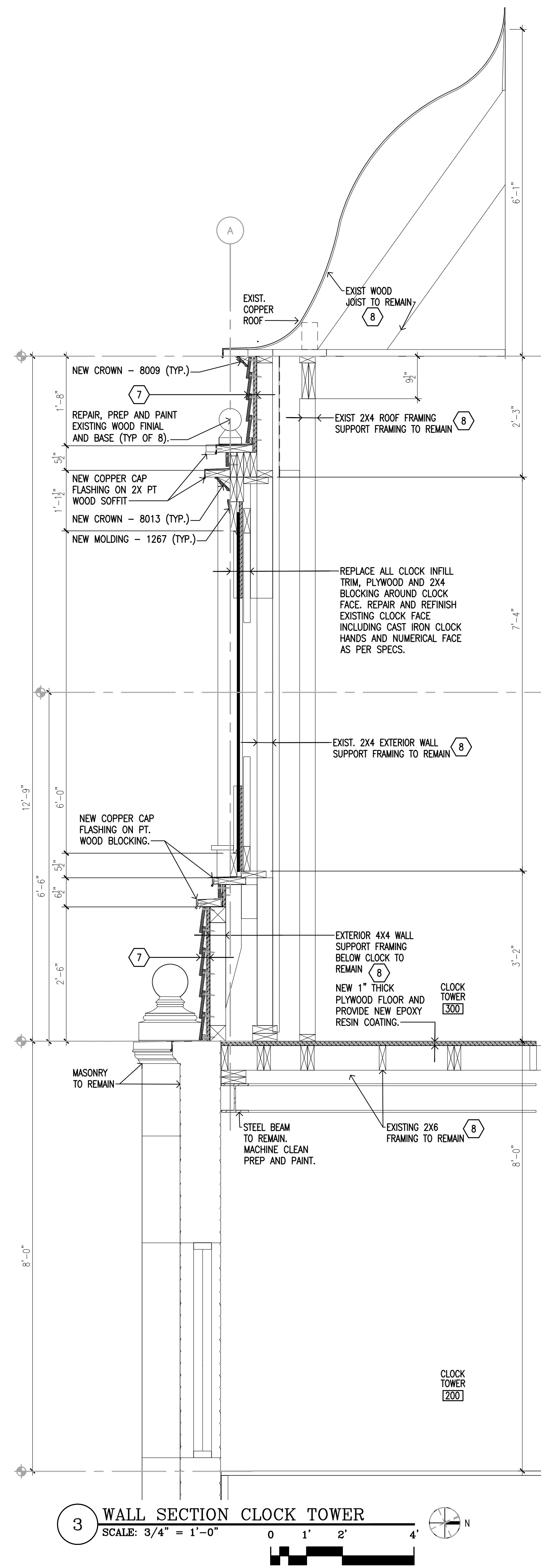
Address:  
98 GRANT STREET,  
STATEN ISLAND, NY 10301

Drawing Title:  
**SELECTIVE REMOVAL CLOCK TOWER**

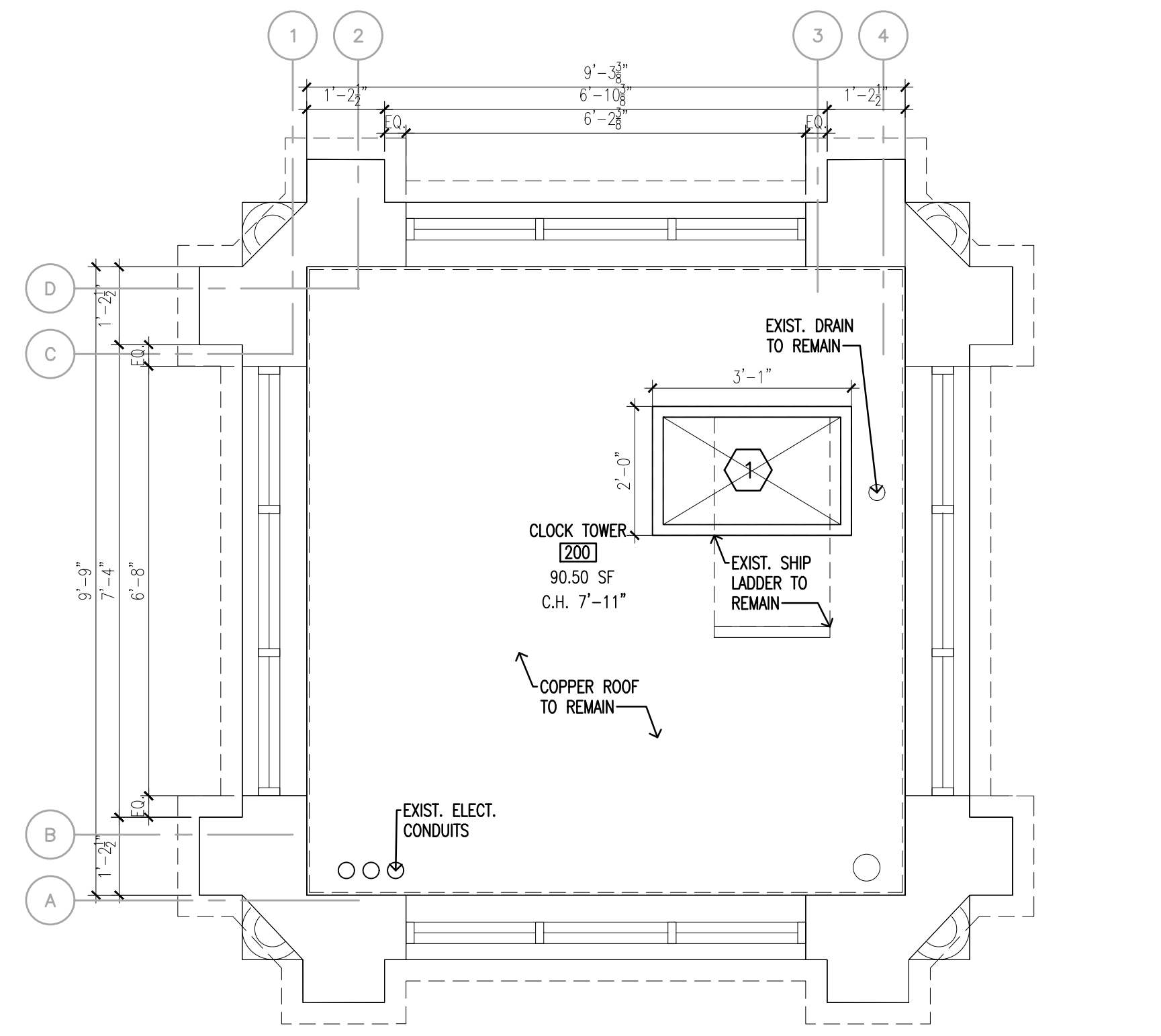
Reserved For  
DO NO.Job#

Drawing No.:	<b>A061.00</b>
Sheets in Contract Set:	4 of XXX
Sheets in DOB Set:	4 of XXX

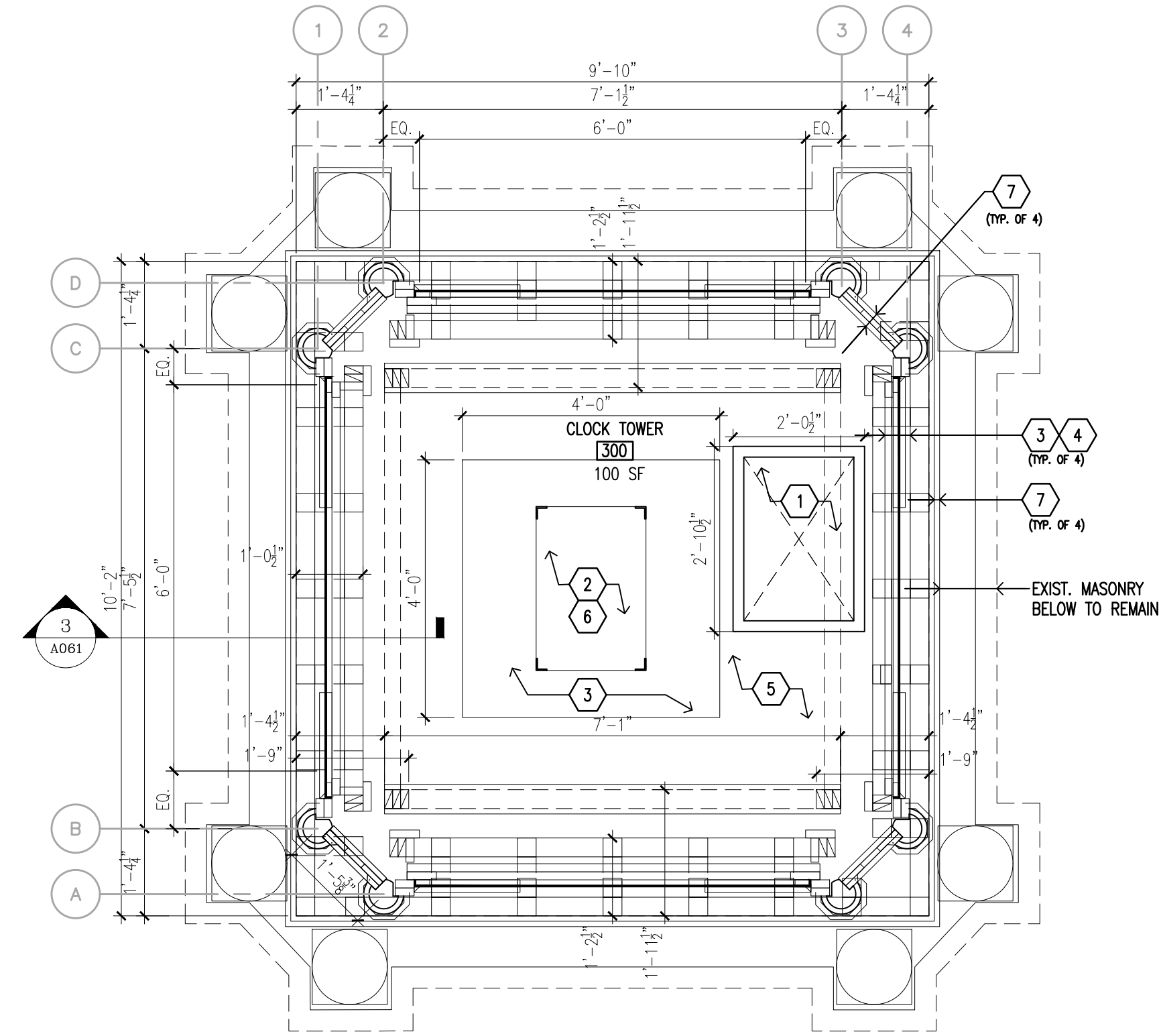




**3 WALL SECTION CLOCK TOWER**  
SCALE: 3/4" = 1'-0"



**1 2ND FLOOR CLOCK TOWER PLAN**  
SCALE: 1/2" = 1'-0"




**2 3RD FLOOR CLOCK TOWER PLAN**  
SCALE: 1/2" = 1'-0"

CONSTRUCTION KEY NOTES:	SYMBOL LEGEND:
1 REPLACE WOOD ACCESS DOOR HATCH	# = CONSTRUCTION KEYNOTE
2 REPLACE CLOCK MECHANISM, SEE SPEC, COORDINATE WITH ELECTRICAL	
3 REPLACE ALL CLOCK INFILL TRIM, PLYWOOD AND 2X4 BLOCKING AROUND CLOCK FACE.	
4 REPAIR AND REFINISH EXISTING CLOCK FACE INCLUDING CAST IRON CLOCK HANDS AND NUMERICAL FACE AS PER SPECS.	
5 NEW 1" THICK PLYWOOD FLOOR AND PROVIDE NEW EPOXY RESIN COATING.	
6 PROVIDE NEW PLYWOOD PLATFORM AND FRAMING FOR CLOCK MECHANISM.	
7 NEW WOOD CLAPBOARD SIDING, SILL, TRIM AND BACKUP SHEATHING, WITH 5" EXPOSURE, AS PER SPECS	
8 REPAIR AND FILL ALL CRACKS, PREP, PRIME AND PAINT ALL INTERIOR WOOD FRAMING.	

**President & CEO**  
A. Nina Kubota

**Board of Trustees**  
Chancellor David C. Banks, Chairman  
Peter McCree  
Emily A. Youssef



**Architecture & Engineering**  
Thierry Paret, FAIA, NCARB, LEED AP, Vice President

Design Consultant Management Studio  
Aileen del Prado, P.E. LEED AP BD+C, Senior Director

In-House Design Studio  
María A. Gómez, P.E. LEED AP BD+C, Senior Director

**Consultants:**

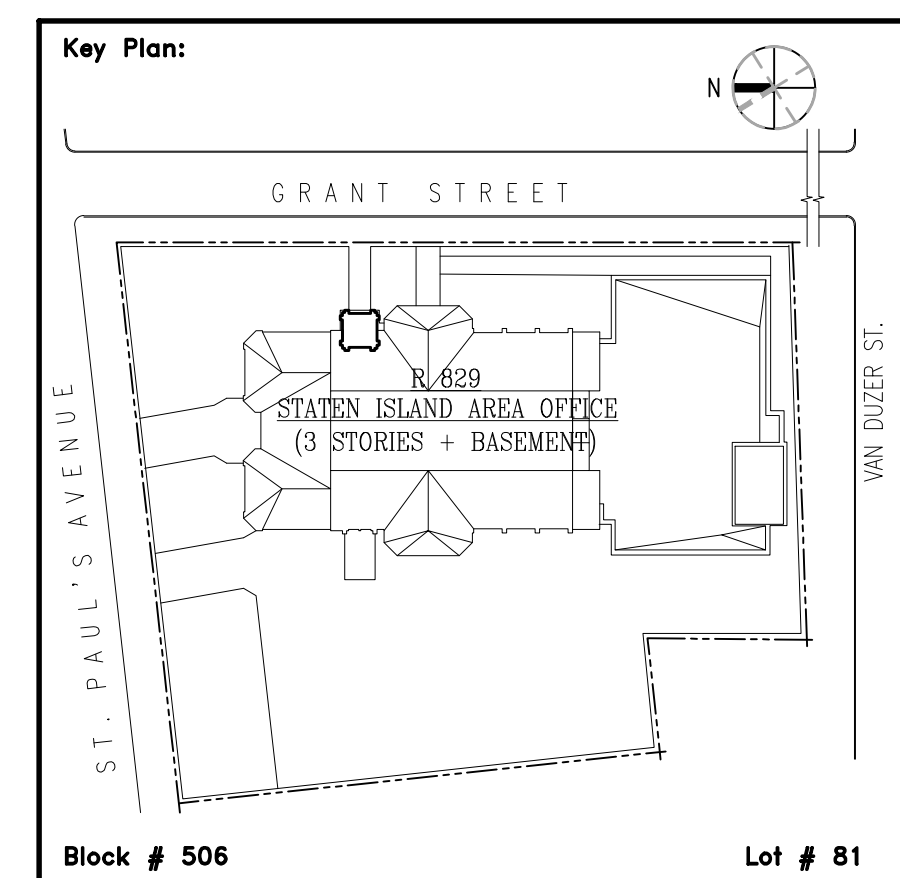
2875 ROUTE 35, SUITE 75-1  
KATONAH, NEW YORK 10536  
TEL (914) 276-0777  
FAX (914) 276-0779

**CPLteam.com**  
ARCHITECTURE ENGINEERING PLANNING

**NOTE: Drawing may be printed at reduced scale**

IT IS A VIOLATION OF THE STATE EDUCATION LAW SECTION 7209 (2) FOR ANY PERSON TO ALTER AN ITEM IN ANY WAY UNLESS SUCH PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, AND THE ENGINEER STAMPS SUCH CHANGES

No.	Date	Revision
1	12/13/2023	SHPO SUBMISSION
1	11/22/2023	ZONE OF PUBLIC PROTECTION SITE PLAN



SCA Design Manager:	ASHRAF ELIAS, PE	
Project Architect/Engineer:	DAVID SAMMEL, RA	
Discipline Lead:	DAVID HUNSBERGER, RA	
Designer:	JUAN POLANCO	
Drawn by:	ALEXIS O'ROURKE	
Checked by:	DAVID SAMMEL, RA	
Design No or LLW No.:	Building ID:	Date:
D022292	R829	00/00/2023

**Project:**  
ARTHUR D. PHILLIPS SCHOOL  
CLOCK TOWER REPAIR @ R829  
PERMANENT FIX

**Address:**  
98 GRANT STREET,  
STATEN ISLAND, NY 10301

**Drawing Title:**  
NEW WORK CLOCK TOWER

Reserved For  
DO NO.Job#

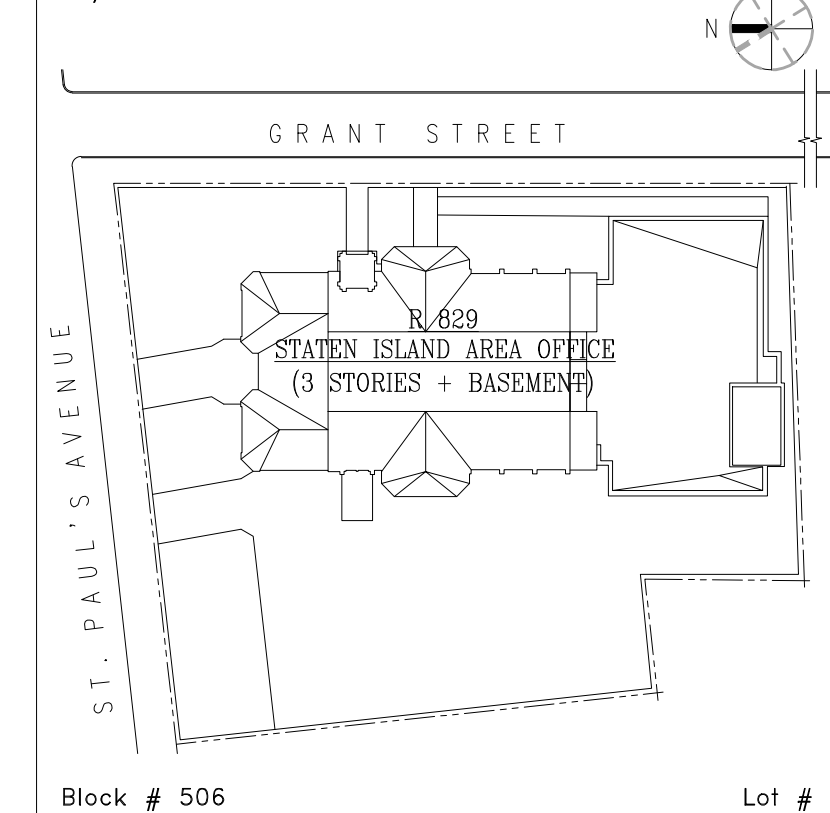
Drawing No.:	<b>A101.00</b>
Sheets in Contract Set:	5 of XXX
Sheets in DOB Set:	5 of XXX

**NOTE:** Drawing may be printed at reduced scale

IT IS A VIOLATION OF THE STATE EDUCATION LAW SECTION 7209 (2) FOR ANY PERSON TO ALTER AN ITEM IN ANY WAY UNLESS SUCH PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, AND THE ENGINEER STAMPS SUCH CHANGES

No.	Date	Revision
1	12/13/2023	SHPO SUBMISSION
1	11/22/2023	ZONE OF PUBLIC PROTECTION SITE PLAN

Key Plan:



SCA Design Manager:	ASHRAF ELIAS, PE	
Project Architect/Engineer:	DAVID SAMMEL, RA	
Discipline Lead:	DAVID HUNSEBERGER, RA	
Designer:	JUAN POLANCO	
Drawn by:	ALEXIS O'ROURKE	
Checked by:	DAVID SAMMEL, RA	
Design No or LLW No.:	Building ID:	Date:
D022292	R829	00/00/2023

Project:  
**ARTHUR D. PHILLIPS SCHOOL  
CLOCK TOWER REPAIR @ R829  
PERMANENT FIX**

Address:  
98 GRANT STREET,  
STATEN ISLAND, NY 10301

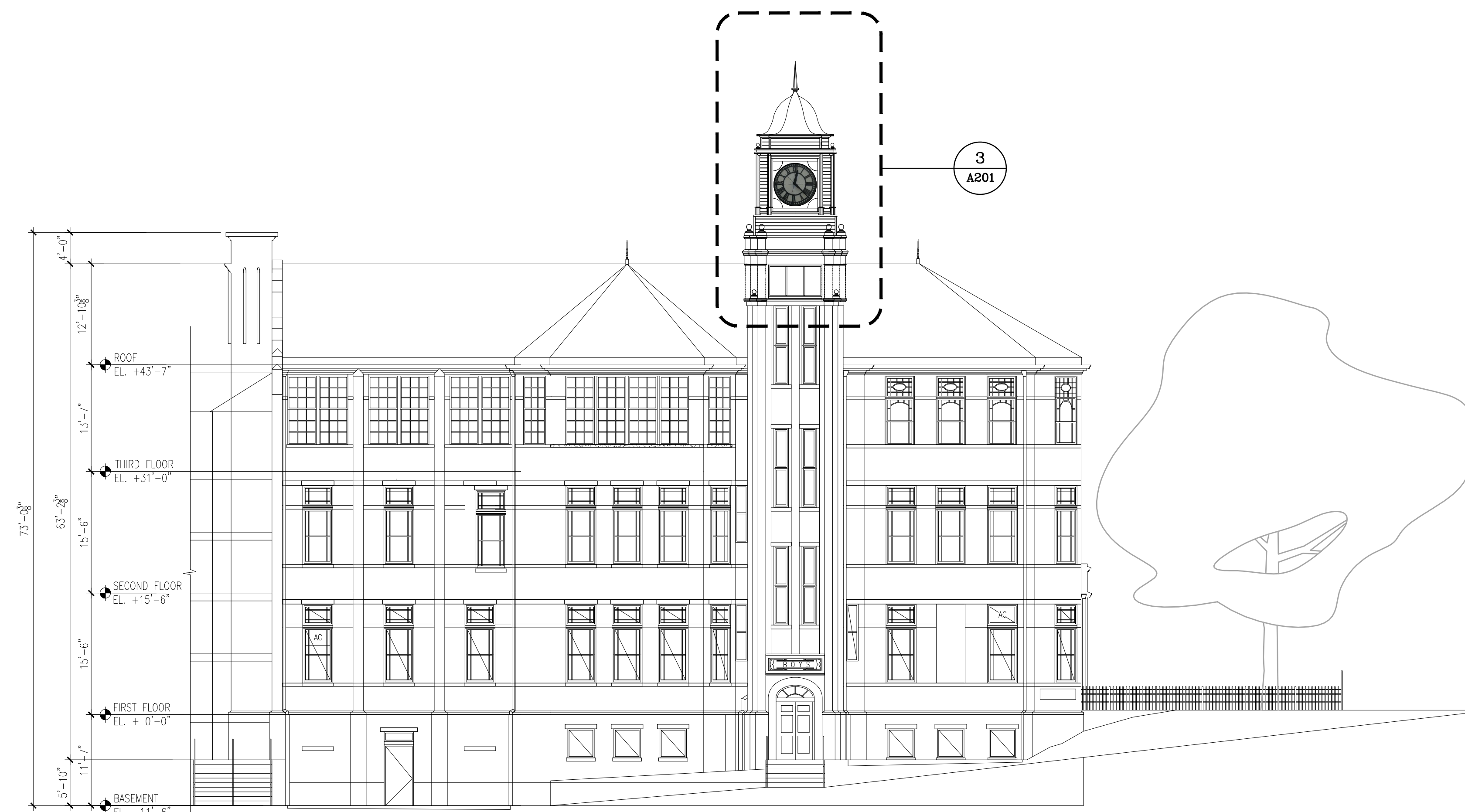
Drawing Title:  
**ELEVATIONS**

Reserved For  
DO NO.Job#

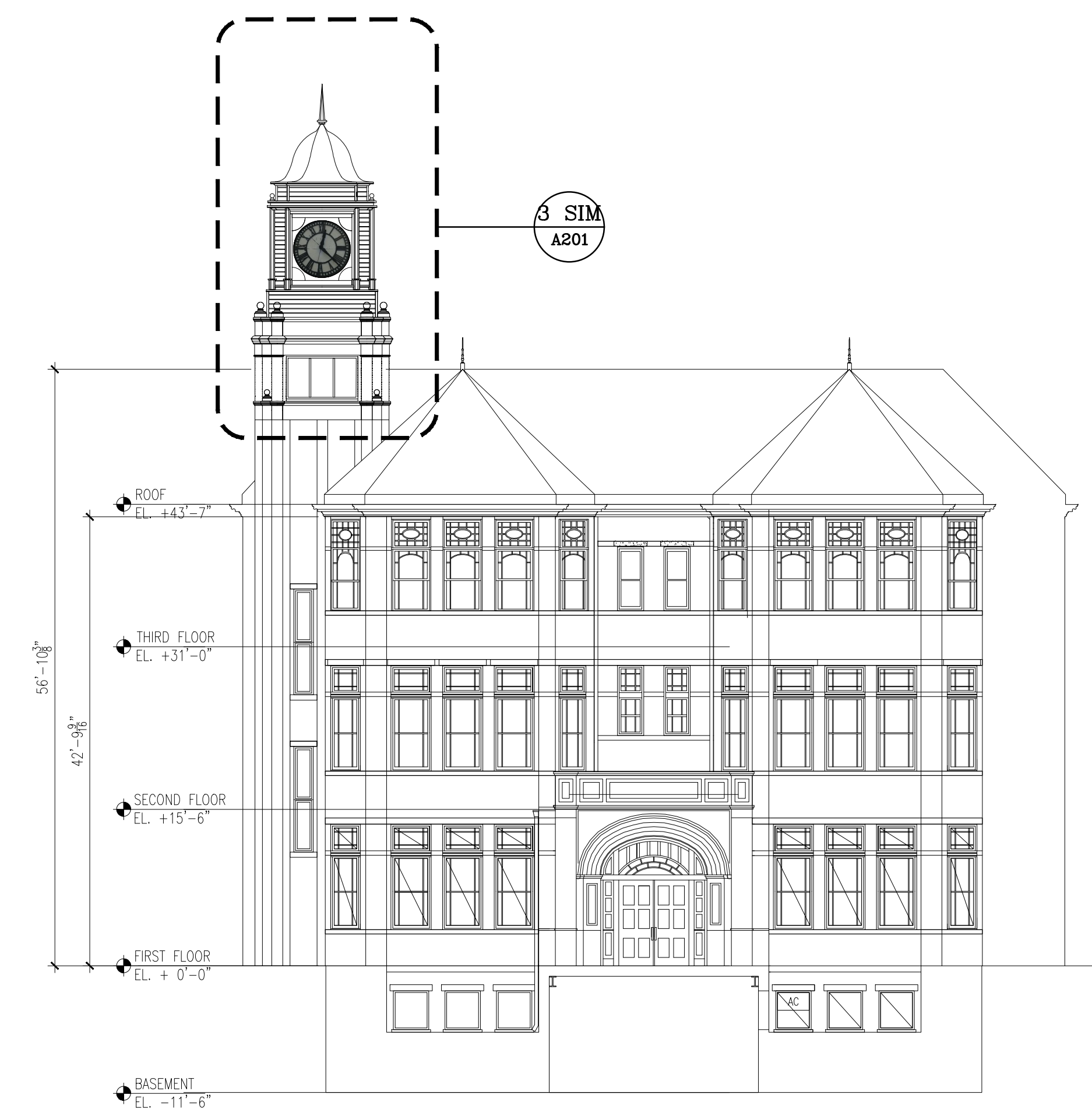
Drawing No.:  
**A201.00**

Sheets in Contract Set:  
5 of XXX

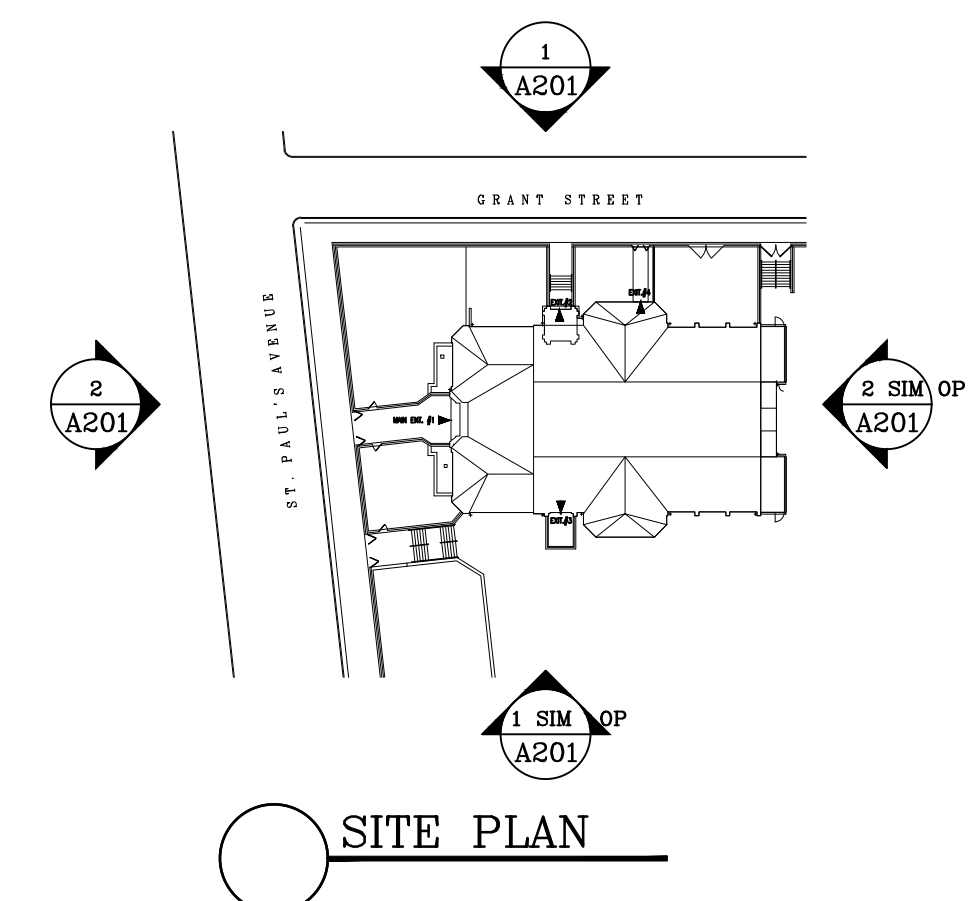
Sheets in DOB Set:  
5 of XXX



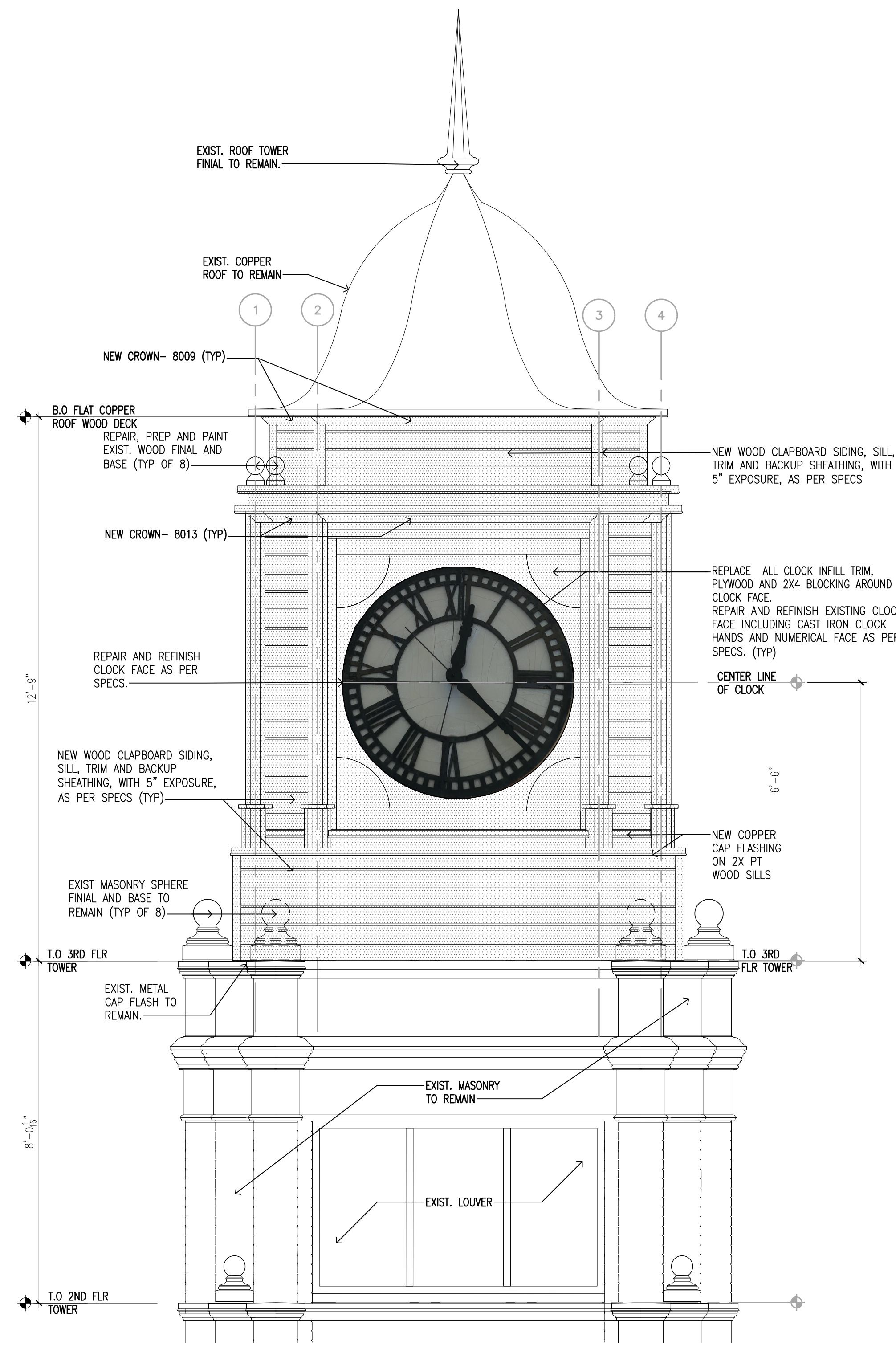
**1 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



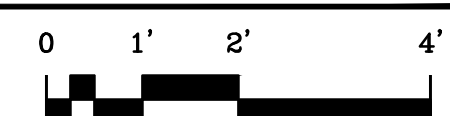
**2 WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**SITE PLAN**



**3 CUPOLA ELEVATION**  
SCALE: 1/2" = 1'-0"



NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055

**L. SPECIFICATIONS**

**Partial List of Relevant Specifications for SHPO Review**

06100	Rough Carpentry
06200	Finish Carpentry
06210	Wood Siding
09900	Painting

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**

**M. APPENDIX**

- 1. Photos of Existing Conditions**
- 2. Damage Mapping Drawings**

**APPENDIX #1**

**PHOTOS OF EXISTING CONDITIONS**

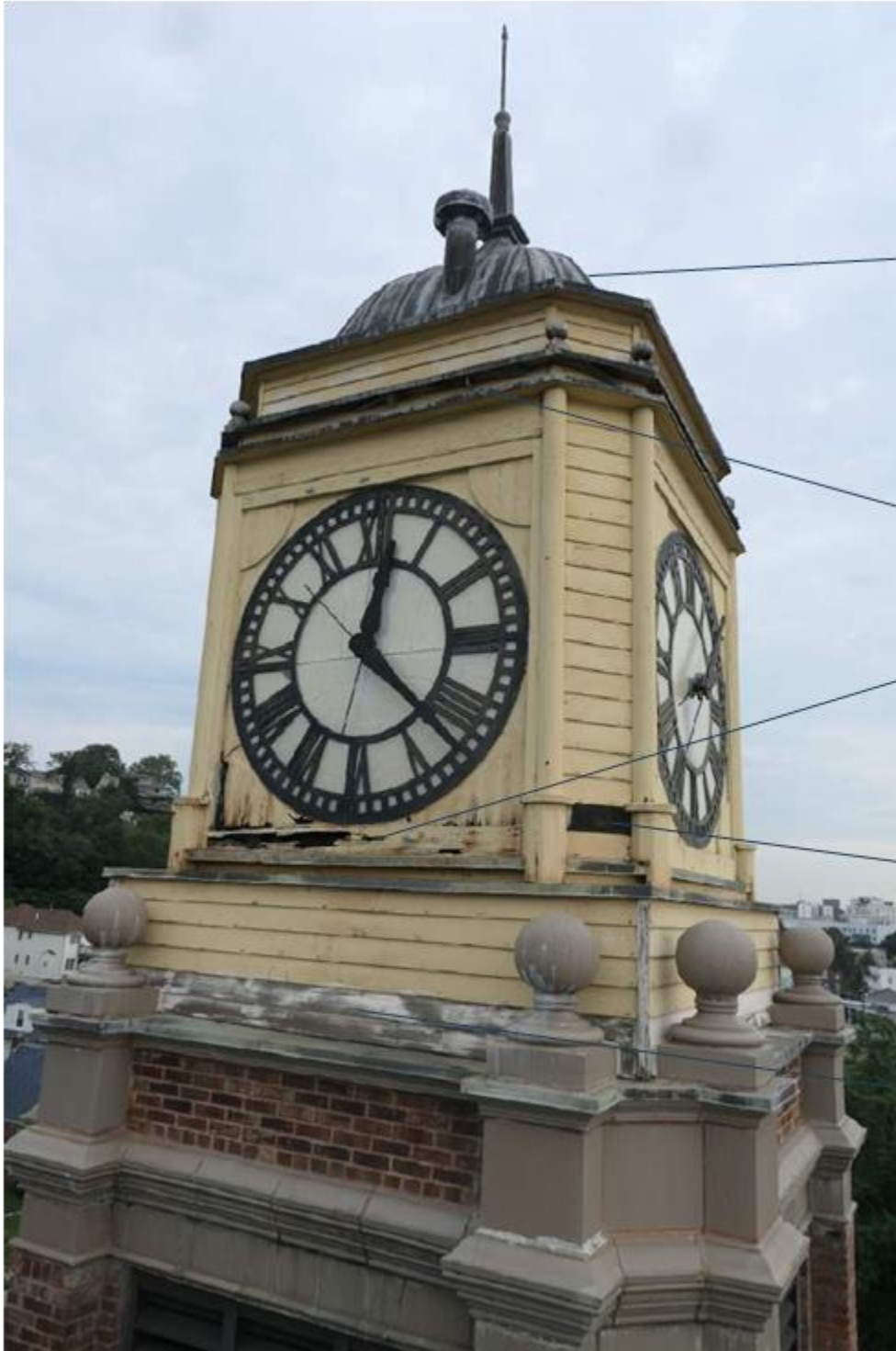


Wood soffit is damaged and loose.

Rotted wood trim below clock face.

**Photo 1 – North Elevation. Damage to cupola and wood trim and siding. Masonry tower in good condition.**

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



Copper roof in good condition.

Damaged soffit at ledges.

Rotted wood trim.

Missing clapboard

Discolored siding indicates presence of moisture

Photo 2 –South elevation. Wood trim is rotted and in poor condition. Masonry is in good condition.

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



Damage to soffit at ledges.

Damaged film at clock face.

Missing clapboard siding

Rotted Trim

Faded wood siding

Photo 3 –East elevation.

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



All siding is faded with fasteners rusting and bleeding through finish. Paint required.

Rotted Trim

Damaged siding

Missing trim

Copper flashing and masonry in good condition.

Photo 4 – West elevation of cupola



NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



Photo 5 – Masonry, flashing and roofing below cupola in good condition.



Photo 6 – Upper roof framing seen from the interior. No water staining or areas of rotted wood observed. No leaks from copper roofing. Light fixture is wrapped in plastic.

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055

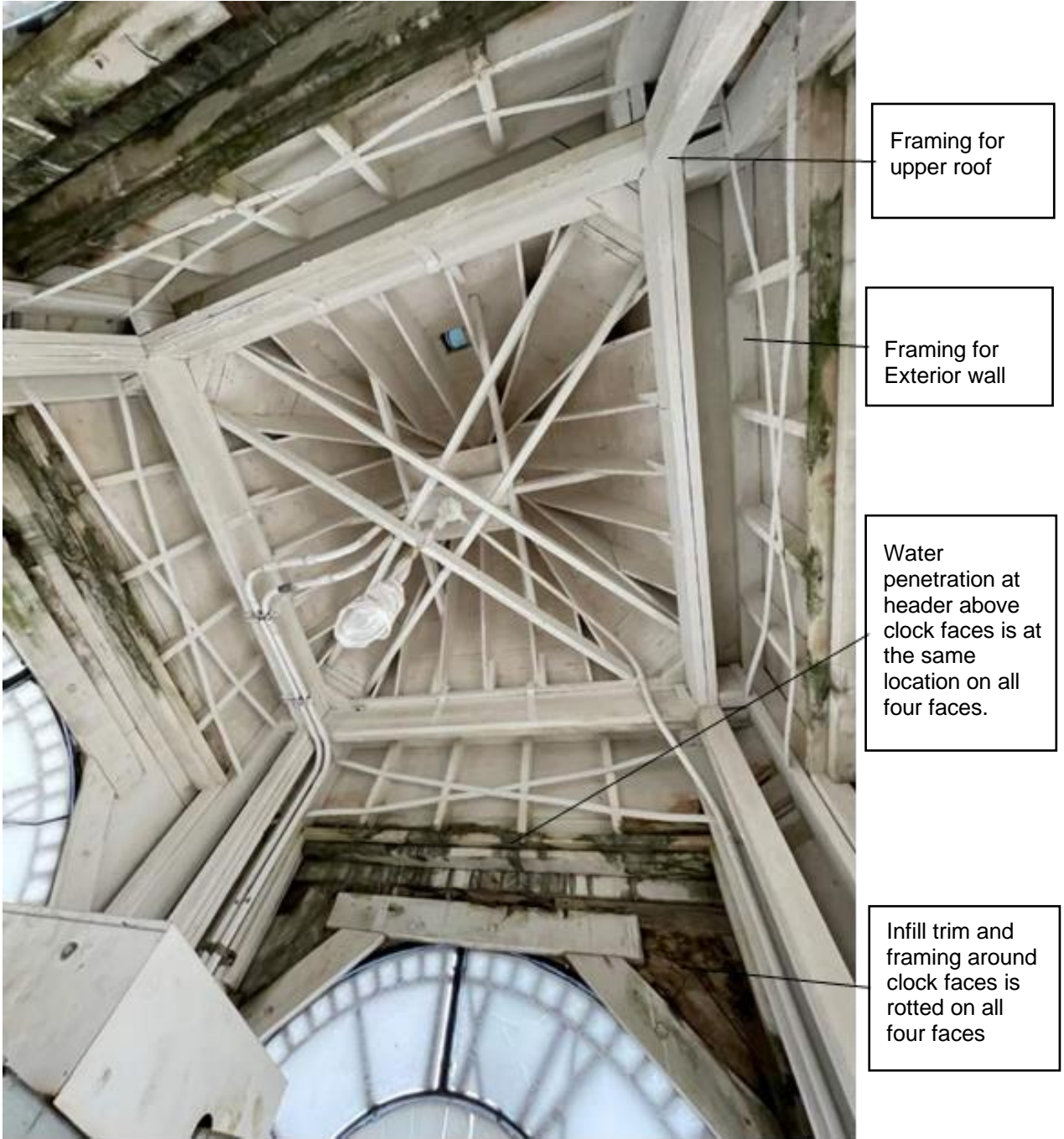


Photo 7 – View of interior framing and water penetration locations.



Photo 8 – Source of water penetration is two exterior ledges. This is consistent on all four faces. Trim and panel infill around clock faces is severely rotted.



Photo 9 – Exterior view of ledges and flashing. Source of water penetration.

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



Photo 10 – Plywood flooring of cupola is rotted.



Photo 11 – View of framing and underside of plywood cupola flooring. Water staining and areas of rotted wood observed. This is consistent on all four faces. Trim and panel infill around clock faces is severely rotted.



Photo 12 – Central clock mechanism controls hands on all four faces. Clocks are not working.

NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055



Photo 13 – Damaged clock face translucent film.



Photo 14 – Exterior metal dial, numerals and clock hands have a faded finish with some pitting noted. Refinish.

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**



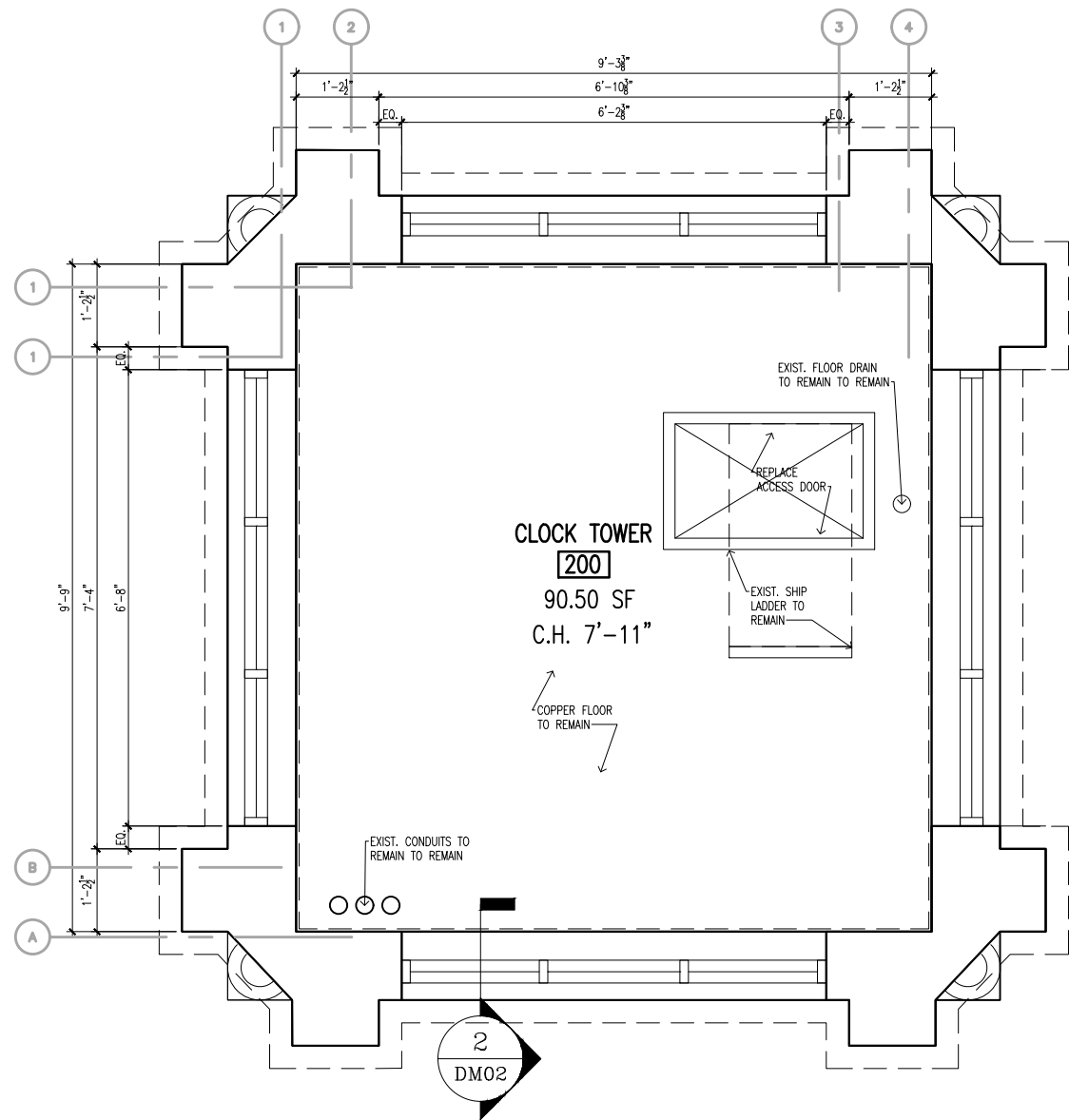
**Photo 15 – Faded clock dial and rotted trim on south elev.**

**NYC School Construction Authority  
Detailed Submission to NYS Historic Preservation Office  
Arthur D. Phillips S.I., Staten Island, Building ID: R829  
Design #: D022292, LLW#: 136055**

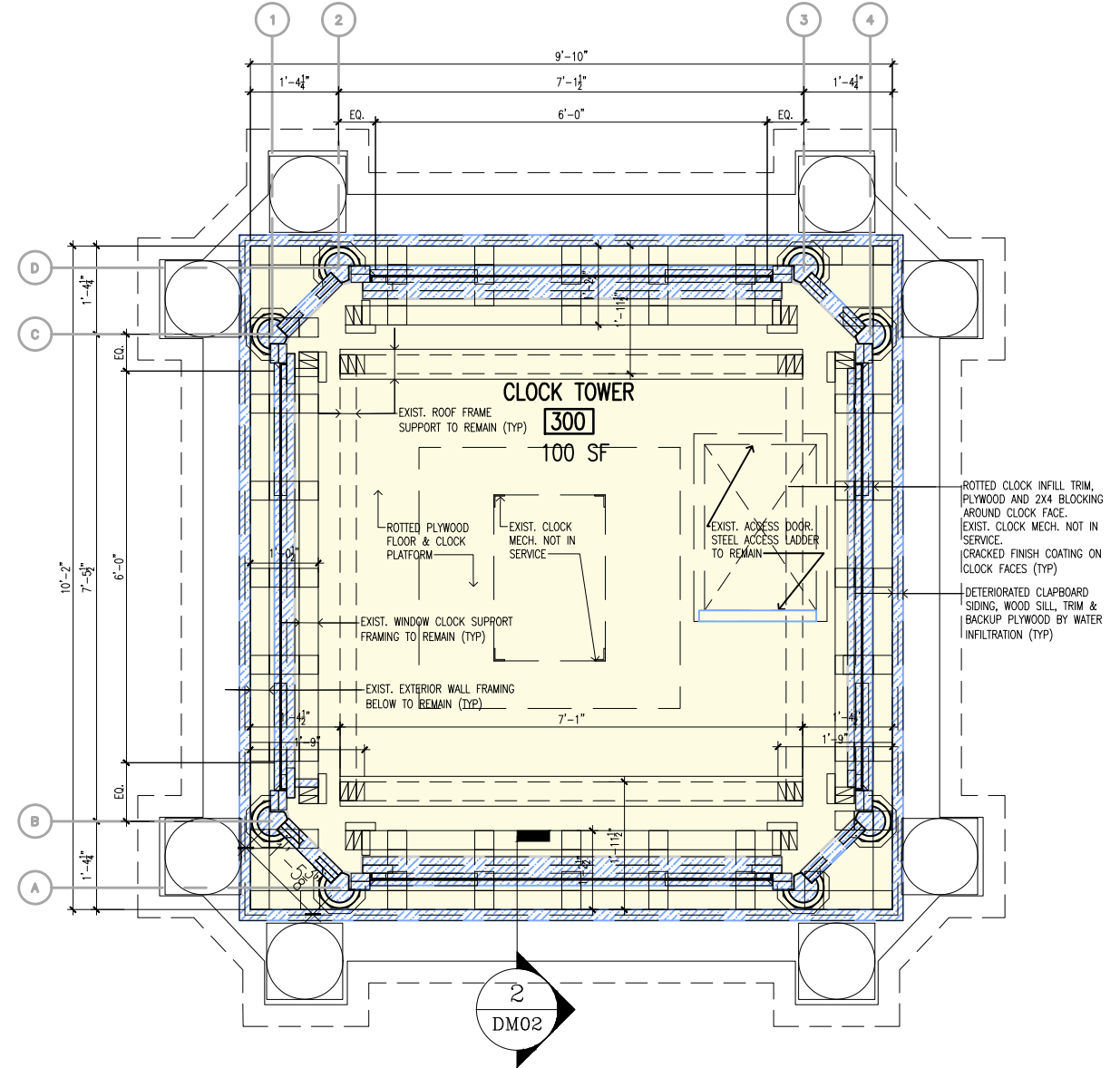
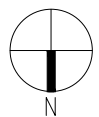
**APPENDIX #2**

**DAMAGE MAPPING DRAWINGS**

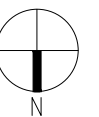




**1 DAMAGE MAPPING- 2ND FLR. PLAN**  
SCALE: 3/8" = 1'-0"



**2 DAMAGE MAPPING- 3RD FLR. PLAN**  
SCALE: 3/8" = 1'-0"



**DAMAGE MAPPING LEGEND:**

- AREA OF WATER INFILTRATION. DETERIORATED WOOD TRIM, SIDING AND BACKUP PLYWOOD
- WET AND ROTTED PLYWOOD FLOOR



**Project:** PS 829 STATEN ISLAND AREA OFFICE  
TOWER RED DOT  
**Damage Survey:** 08/10/2023  
**Design No.:** D022292  
**LLW No.:** 136055

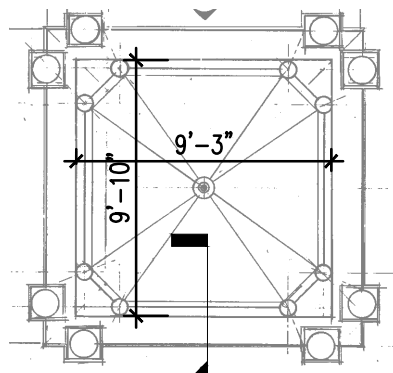
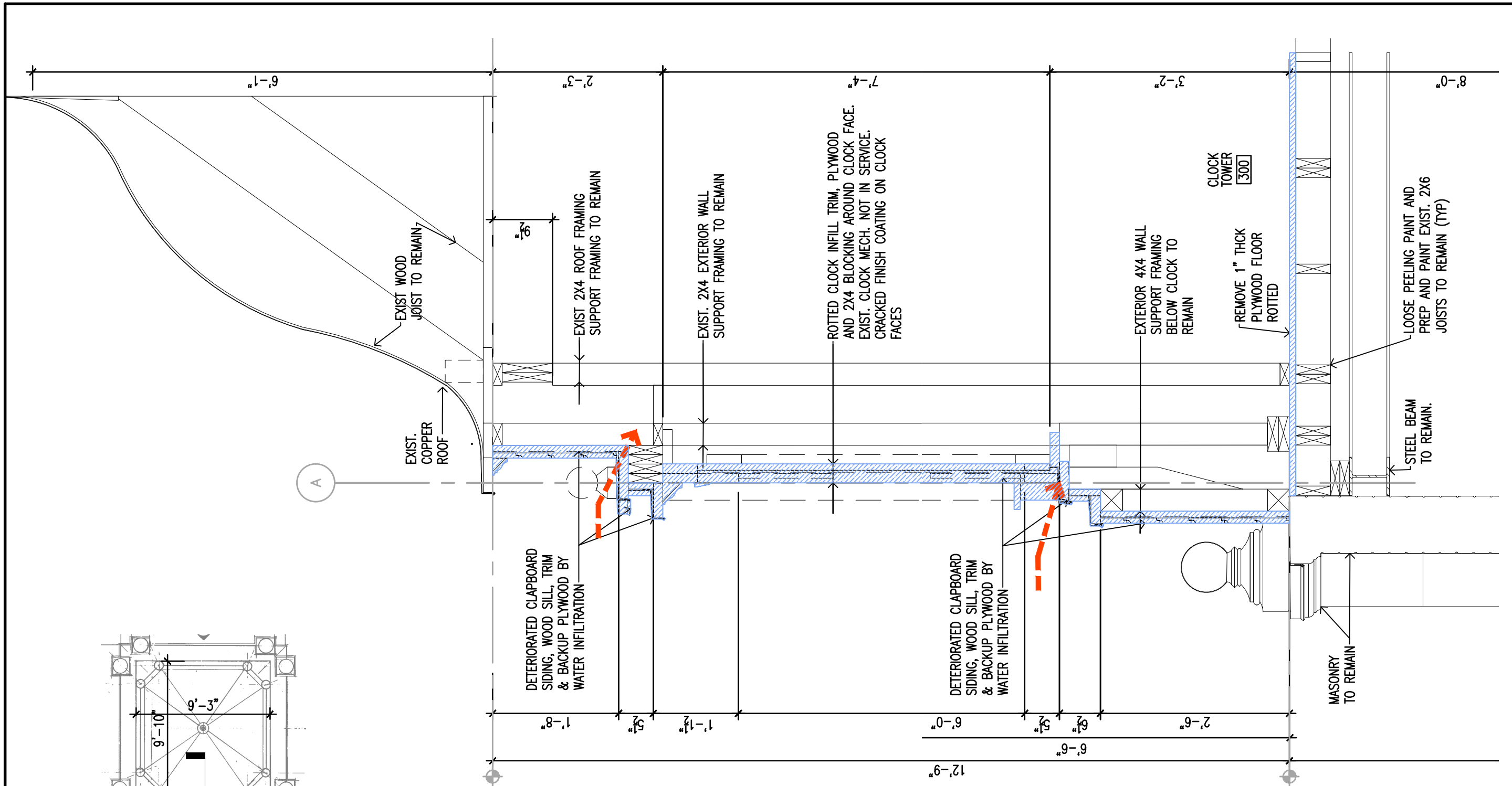
RED DOT

**Drawing Title:** 2ND AND 3RD FLOORS- CLOCK TOWER  
**Drawing Issue Date:** 10/18/2023  
**Facility Code:** R829

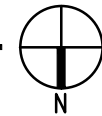
**Drawn by:** JP  
**Checked by:** DH  
**Manager:** DH



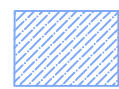
DM01



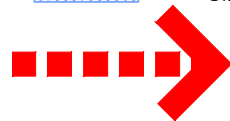
1 KEY PLAN- CLOCK TOWER  
NTS



**DAMAGE MAPPING LEGEND:**



AREA OF WATER INFILTRATION.  
DETERIORATED WOOD TRIM,  
SIDING AND BACKUP PLYWOOD



WATER PENETRATION

2 DAMAGE MAPPING- CLOCK TOWER SECTION  
SCALE: 3/4" = 1'-0"



Project: PS 829 STATEN ISLAND AREA OFFICE  
TOWER RED DOT  
Damage Survey: 08/10/2023  
Design No. D022292  
LLW No.: 136055

RED DOT

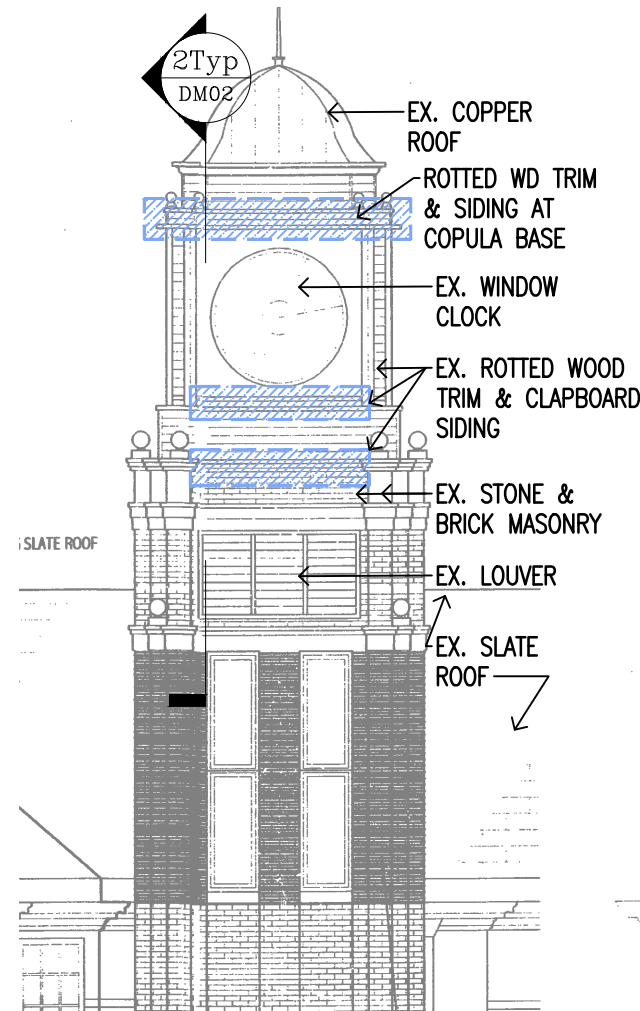
Drawing Title: CLOCK TOWER- BUILDNG SECTION  
Drawing Issue Date: 08/10/2023  
Facility Code: R829

Drawn by: JP  
Checked by: DH  
Manager: DH

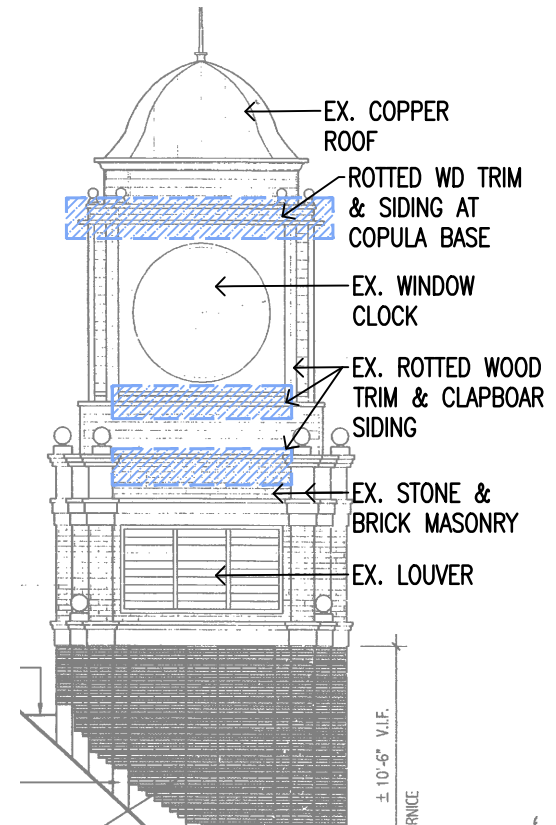


2875 ROUTE 35, SUIT 75-1  
KATONAH, NEW YORK 10536  
TEL (914) 276-0777  
CPLteam.com  
ARCHITECTURE • ENGINEERING • PLANNING

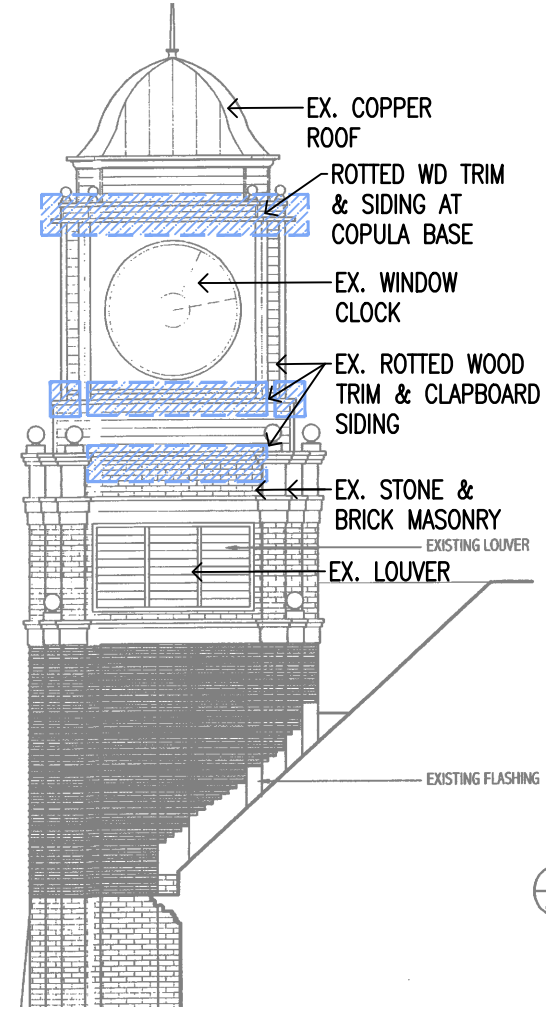
DM02



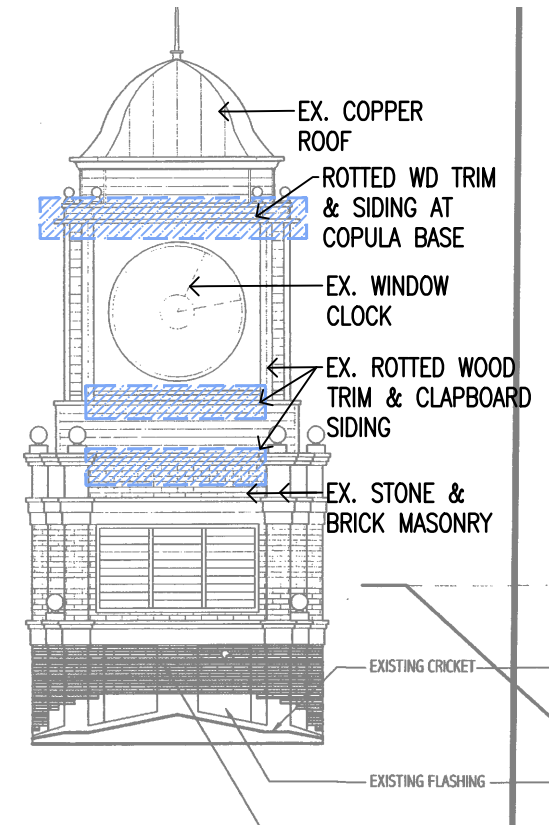
**2** DAMAGE MAPPING— NORTH ELEV.  
SCALE: 1/8" = 1'-0"



**3** DAMAGE MAPPING— SOUTH ELEV.  
SCALE: 1/8" = 1'-0"



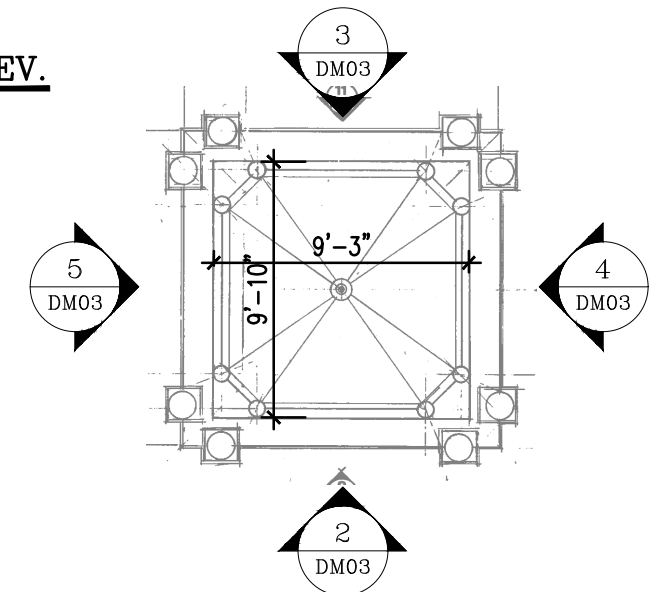
**4** DAMAGE MAPPING— EAST ELEV.  
SCALE: 1/8" = 1'-0"



**5** DAMAGE MAPPING— WEST ELEV.  
SCALE: 1/8" = 1'-0"

**LEGEND:**

AREA OF WATER INFILTRATION, DETERIORATED PLYWOOD AND SIDING



**1** KEY PLAN  
SCALE: 3/8" = 1'-0"



Project: PS 829 STATEN ISLAND AREA OFFICE  
TOWER RED DOT  
Damage Survey: 08/10/2023  
Design No. D022292  
LLW No.: 136055  
RED DOT

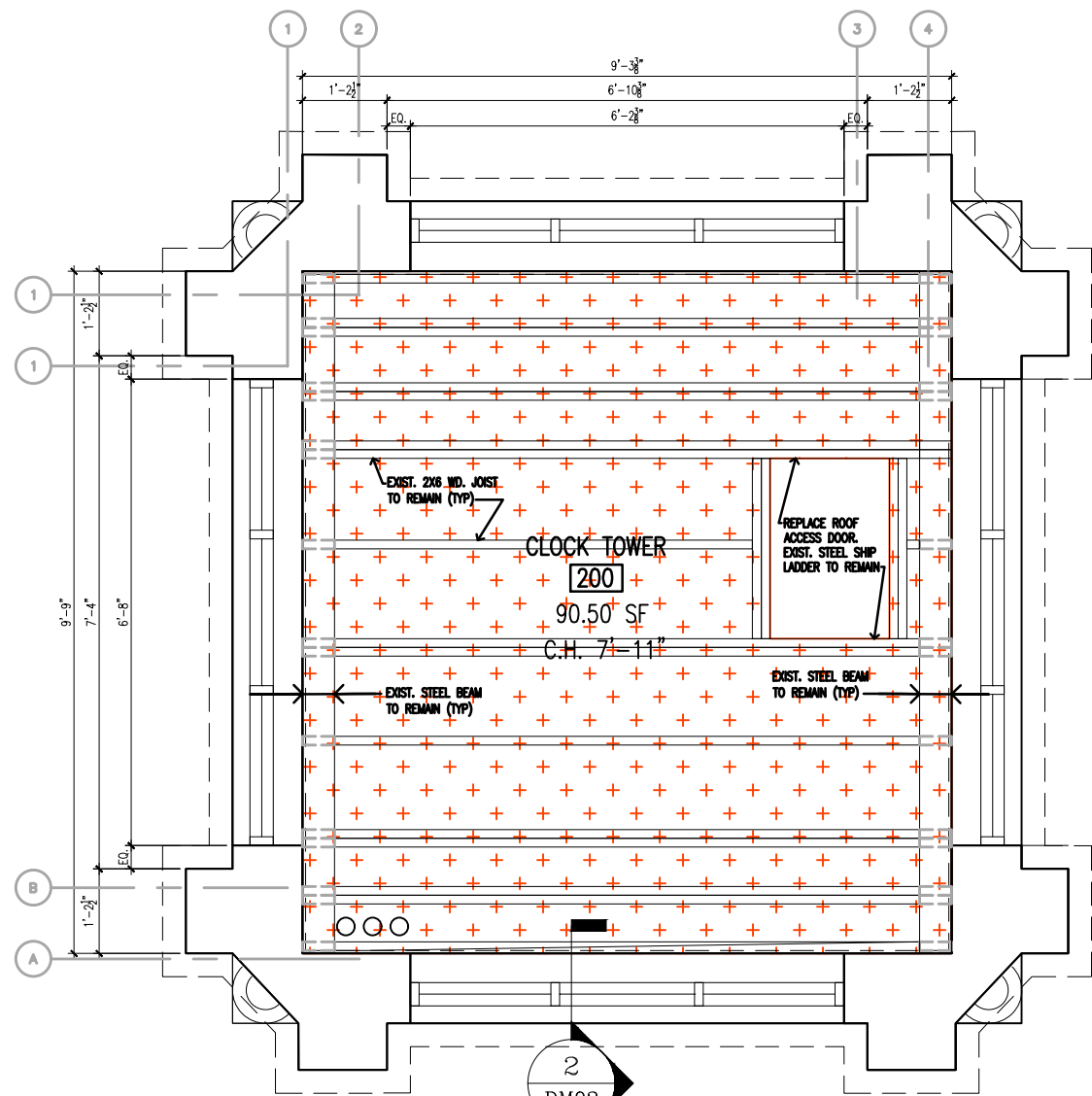
Drawing Title: EXTERIOR ELEVATIONS/CLOCK TOWER  
Drawing Issue Date: 08/10/2023  
Facility Code: R829

Drawn by: JP  
Checked by: DH  
Manager: DH



2875 ROUTE 35, SUIT 75-1  
KATONAH, NEW YORK 10536  
TEL (914) 276-0777

DM03



1 **2ND FLR. CLOCK TOWER- RCP**  
SCALE: 3/8" = 1'-0"

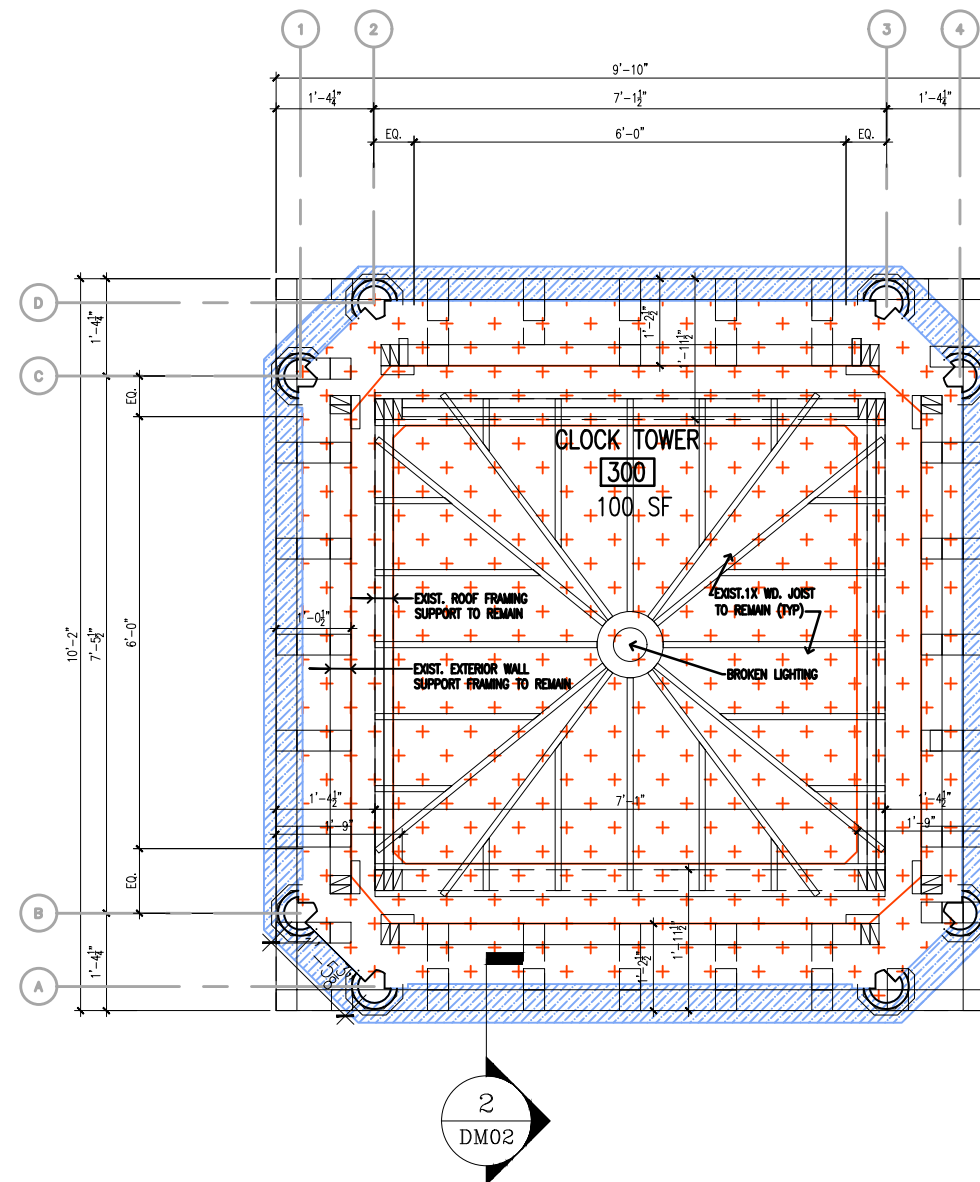
**LEGEND:**



DETERIORATED/ ROTTED SOFFIT.



DETERIORATED PEELING PAINT ON EXIST JOIST AND BEAMS



3 **3RD FLR. CLOCK TOWER- RCP**  
SCALE: 3/8" = 1'-0"



Project: PS 829 STATEN ISLAND AREA OFFICE  
TOWER RED DOT  
Damage Survey: 08/10/2023  
Design No. D022292  
LLW No.: 136055

RED DOT

Drawing Title: 2ND AND 3RD FLOOR RCP PLANS  
Drawing Issue Date: 08/10/2023  
Facility Code: R829

Drawn by: JP  
Checked by: DH  
Manager: DH



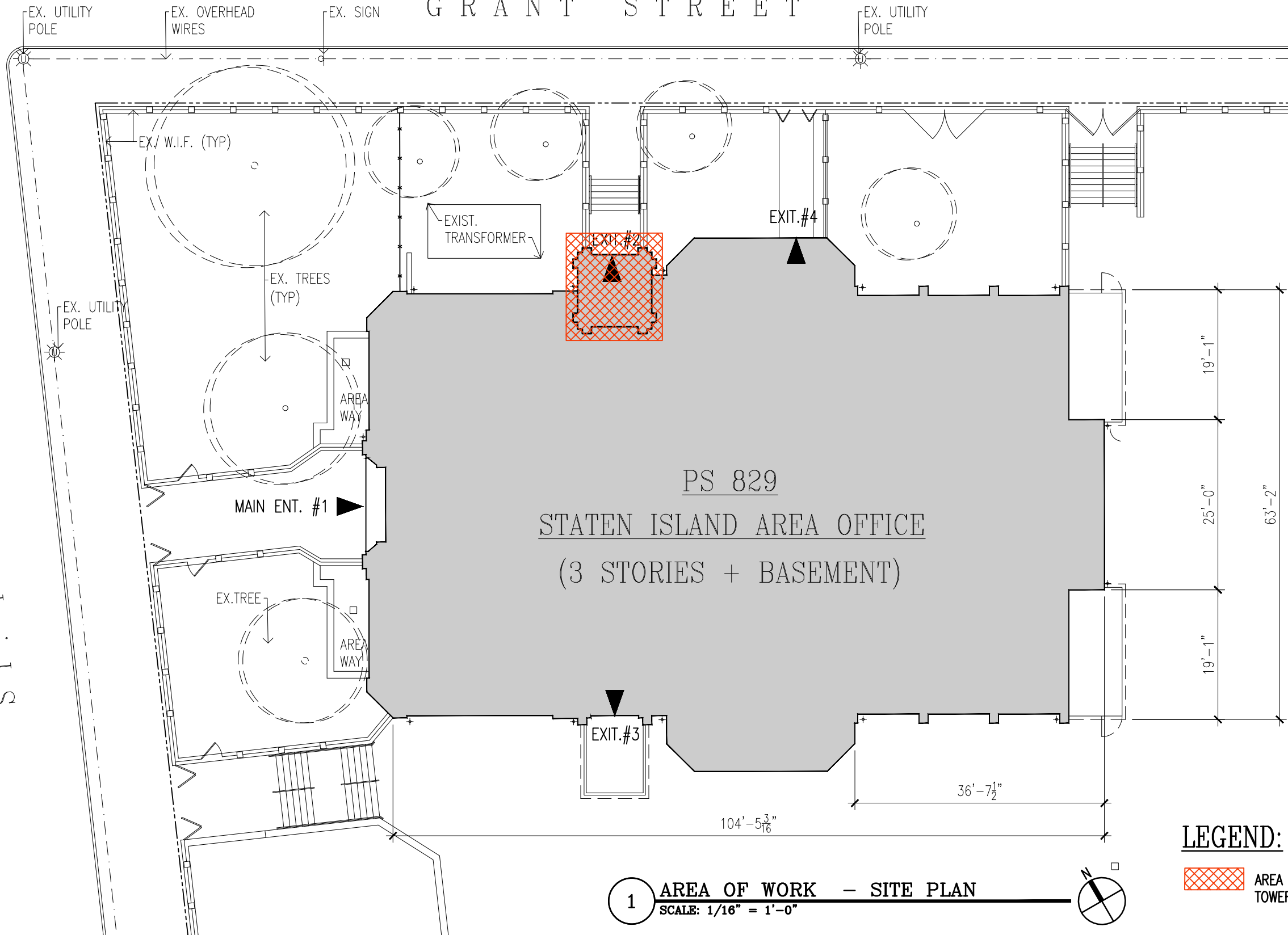
2875 ROUTE 35, SUIT 75-1  
KATONAH, NEW YORK 10536  
TEL (914) 276-0777

CPLteam.com  
ARCHITECTURE • ENGINEERING • PLANNING

DM04

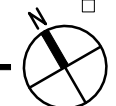
ST. PAUL'S AVENUE

GRANT STREET



1 AREA OF WORK - SITE PLAN  
SCALE: 1/16" = 1'-0"

**LEGEND:**  
 AREA OF WORK - CLOCK TOWER AREA ABOVE



Project: PS 829 STATEN ISLAND AREA OFFICE  
TOWER RED DOT

Damage Survey: 08/10/2023

Design No. D022292  
LLW No.: 136055

RED DOT

Drawing Title: AREA OF WORK - SITE PLAN

Drawing Issue Date: 08/10/2023

Facility Code: R829

Drawn by: CT

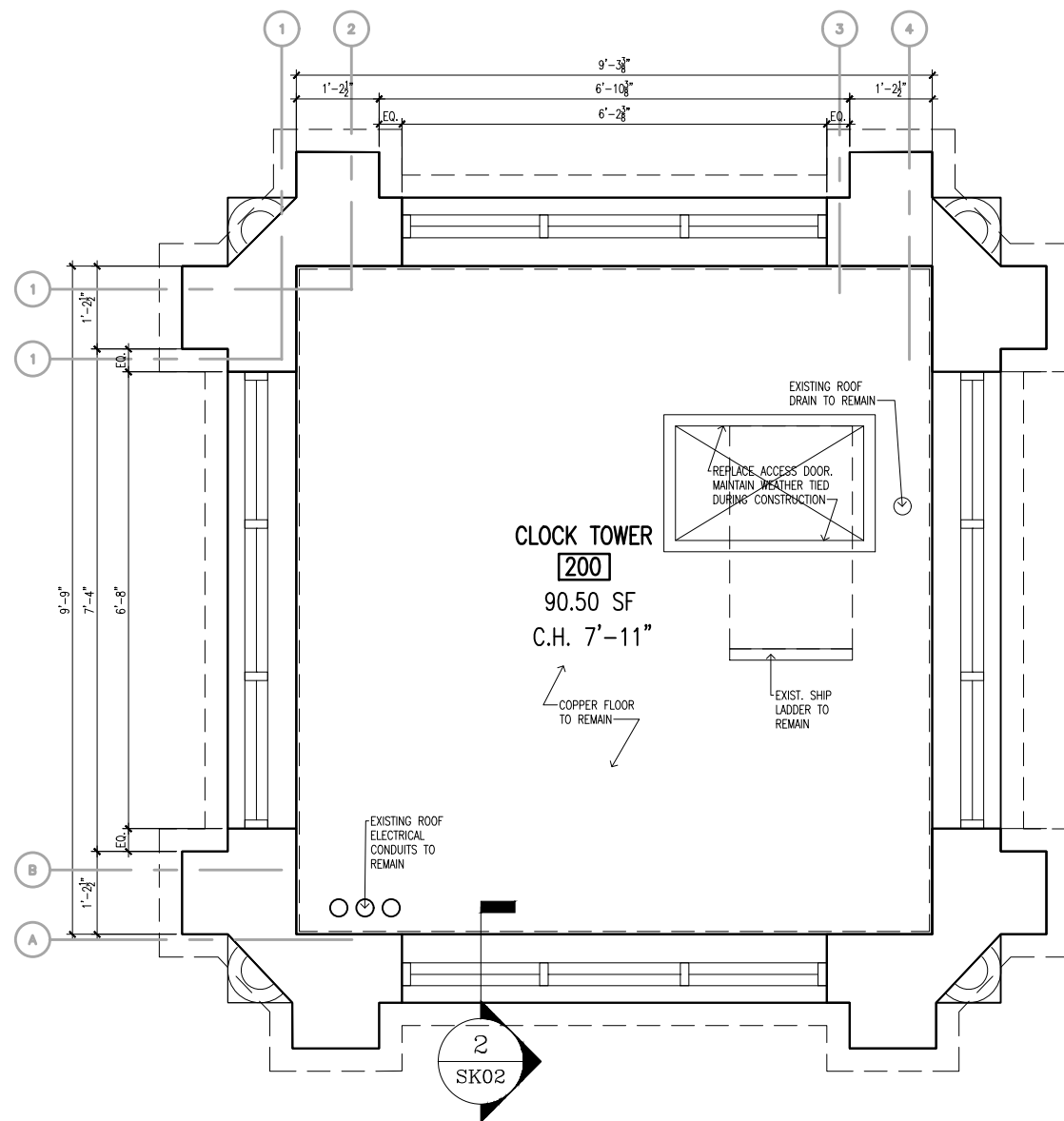
Checked by: DH

Manager: DH

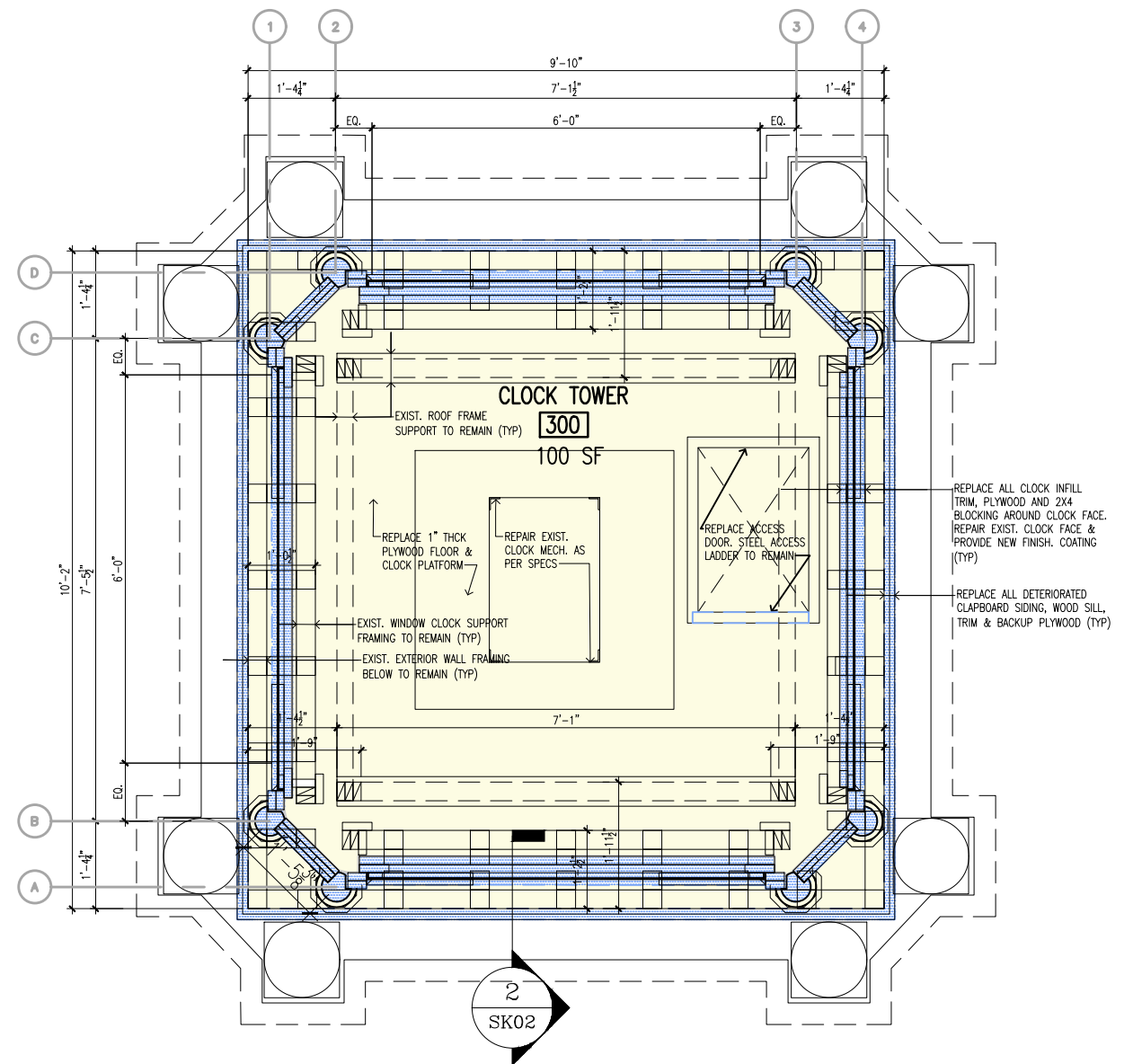


2875 ROUTE 35, SUIT 75-1  
KATONAH, NEW YORK 10536  
TEL (914) 276-0777

SK00



**1** RECOMMENDED WORK- 2ND FLR. PLAN  
 SCALE: 3/8" = 1'-0"



**2** RECOMMENDED WORK- 3RD FLR. PLAN  
 SCALE: 3/8" = 1'-0"

RECOMMENDED WORK LEGEND:

- REPLACE ALL DETERIORATED WOOD TRIM, SILLS & CAP FLASH, SIDING, BACKUP SHEATHINGS AND BLOCKINGS
- REPLACE 1" THCK PLYWOOD FLOOR. & PROVIDE NEW EPOXY RESIN COATING



**Project:** PS 829 STATEN ISLAND AREA OFFICE  
 TOWER RED DOT  
**Damage Survey:** 08/10/2023  
**Design No.:** D022292  
**LLW No.:** 136038

RED DOT

**Drawing Title:** 2ND AND 3RD FLOORS- CLOCK TOWER

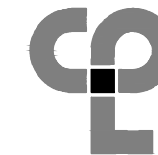
**Drawing Issue Date:** 08/10/2023

**Facility Code:** R829

**Drawn by:** JP

**Checked by:** DH

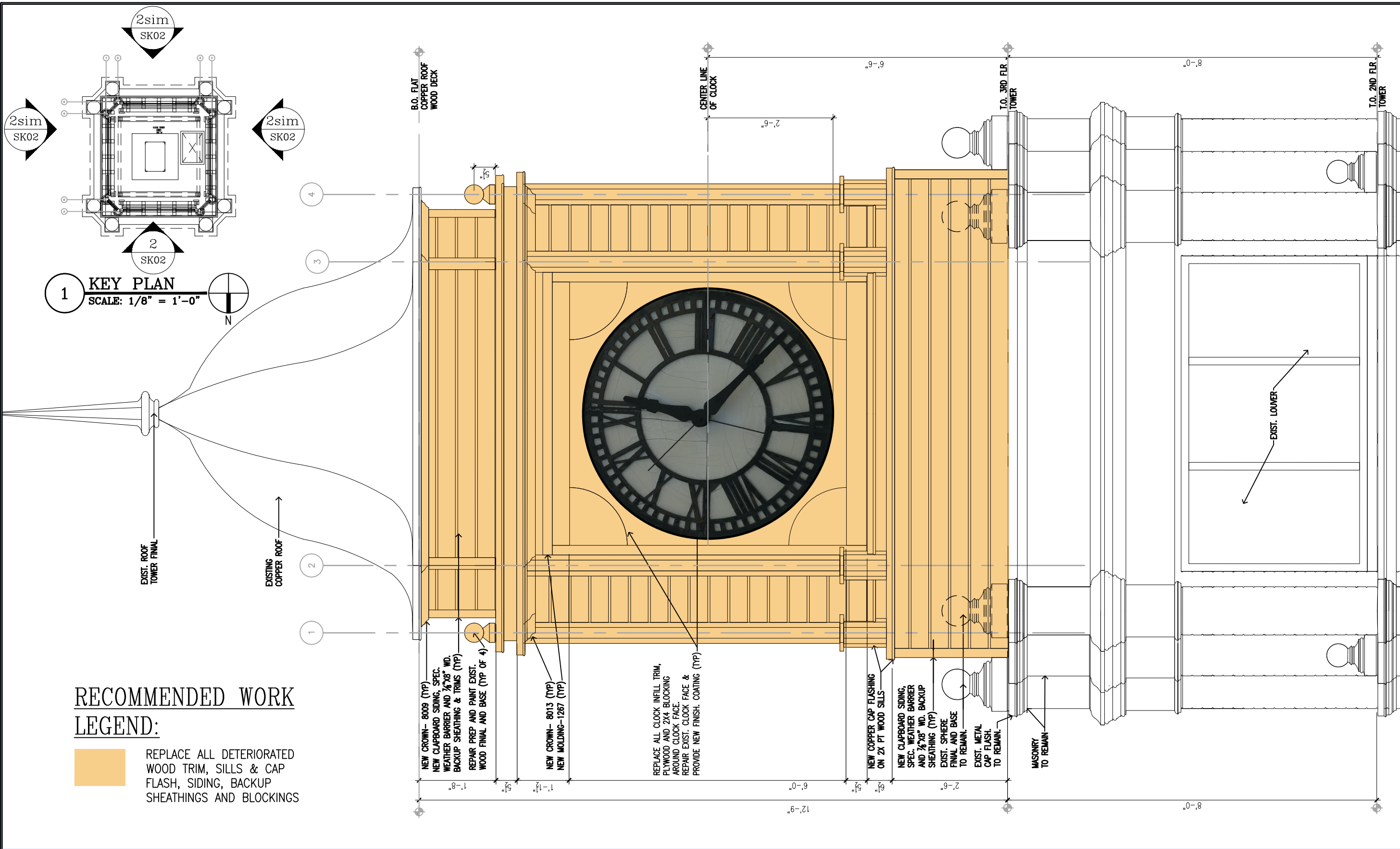
**Manager:** DH



2875 ROUTE 35, SUIT 75-1  
 KATONAH, NEW YORK 10536  
 TEL (914) 276-0777

**CPLteam.com**  
 ARCHITECTURE • ENGINEERING • PLANNING

SK01



Project: PS 829 STATEN ISLAND AREA OFFICE  
TOWER RED DOT

Damage Survey: 08/10/2023

Design No. RED DOT

LLW No.: 136055

Drawing Title: EXTERIOR ELEVATIONS CLOCK TOWER

Drawing Issue Date: 08/10/2023

Facility Code: R829

Drawn by: JP


Checked by: DH

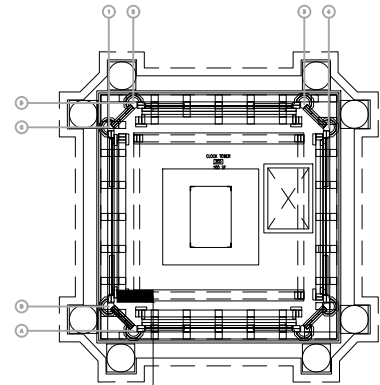
Manager: DH



SK02

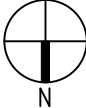
**LEGEND:**

 REPLACE ALL DETERIORATED WOOD TRIM, SILLS & CAP FLASH, SIDING, BACKUP SHEATHINGS AND BLOCKINGS



2Typ  
DM02

**1 KEY PLAN**  
SCALE: 1/8" = 1'-0"



A

REMOVE LOOSE PAINT.  
PREP & PAINT ALL  
JOIST WOOD CLG.

EXIST. 2X4 ROOF FRAMING  
SUPPORT FRAMING TO REMAIN.  
REMOVE ALL LOOSE PAINT AN  
PROVIDE NEW PAINT FINISH.

EXIST. 2X4 EXTERIOR WALL  
SUPPORT FRAMING TO REMAIN.  
REMOVE ALL LOOSE PAINT AN  
PROVIDE NEW PAINT FINISH.

REPLACE ALL CLOCK INFILL TRIM,  
PLYWOOD AND 2X4 BLOCKING AROUND  
CLOCK FACE.  
REMOVE AND SAVE EXIST. CLOCK FACE  
FOR REPAIR AND REFINISH. AS PER  
SPECS. (TYP)

EXTERIOR 4X4 WALL  
SUPPORT FRAMING  
BELOW CLOCK TO  
REMAIN

REPLACE 1" THICK  
PLYWOOD FLOOR. &  
PROVIDE NEW EPOXY  
RESIN COATING

REMOVE ALL LOOSE PEELING  
PAINT AND PREP AND PAINT  
EXIST. 2X6 JOISTS (TYP)

MACHINE CLEAN, PRE AND  
PAINT EXIST. STEEL BEAM  
TO REMAIN.

B.O. FLAT COPPER  
ROOF WOOD DECK

NEW CROWN- 8009 (TYP)  
NEW CLAPBOARD SIDING, SPEC.  
WEATHER BARRIER AND 7/8"X8" WD.  
BACKUP SHEATHING (TYP)  
REPAIR PREP AND PAINT EXIST.  
WOOD FINIAL AND BASE (TYP OF 4)

NEW COPPER CAP FLASHING  
ON 2X PT WOOD SOFFIT  
NEW CROWN- 8013 (TYP)  
NEW MOLDING-1267 (TYP)

NEW COPPER CAP FLASHING  
ON 2X PT WOOD SILLS

NEW CLAPBOARD SIDING,  
SPEC. WEATHER BARRIER  
AND 7/8"X8" WD. BACKUP  
SHEATHING (TYP)

EXIST. SPHERE  
FINIAL AND BASE  
TO REMAIN.  
EXIST. METAL  
CAP FLASH.  
TO REMAIN.

T.O. 3RD FLR  
TOWER

MASONRY  
TO REMAIN

CLOCK  
TOWER  
[300]

**2 RECOMMENDED WORK- CLOCK TOWER SECTION**  
SCALE: 3/4" = 1'-0"



Project: PS 829 STATEN ISLAND AREA OFFICE  
TOWER RED DOT  
Damage Survey: 08/10/2023  
Design No. RED DOT  
LLW No.: 136055

Drawing Title: CLOCK TOWER- BUILDNG SECTION  
Drawing Issue Date: 08/10/2023  
Facility Code: R829

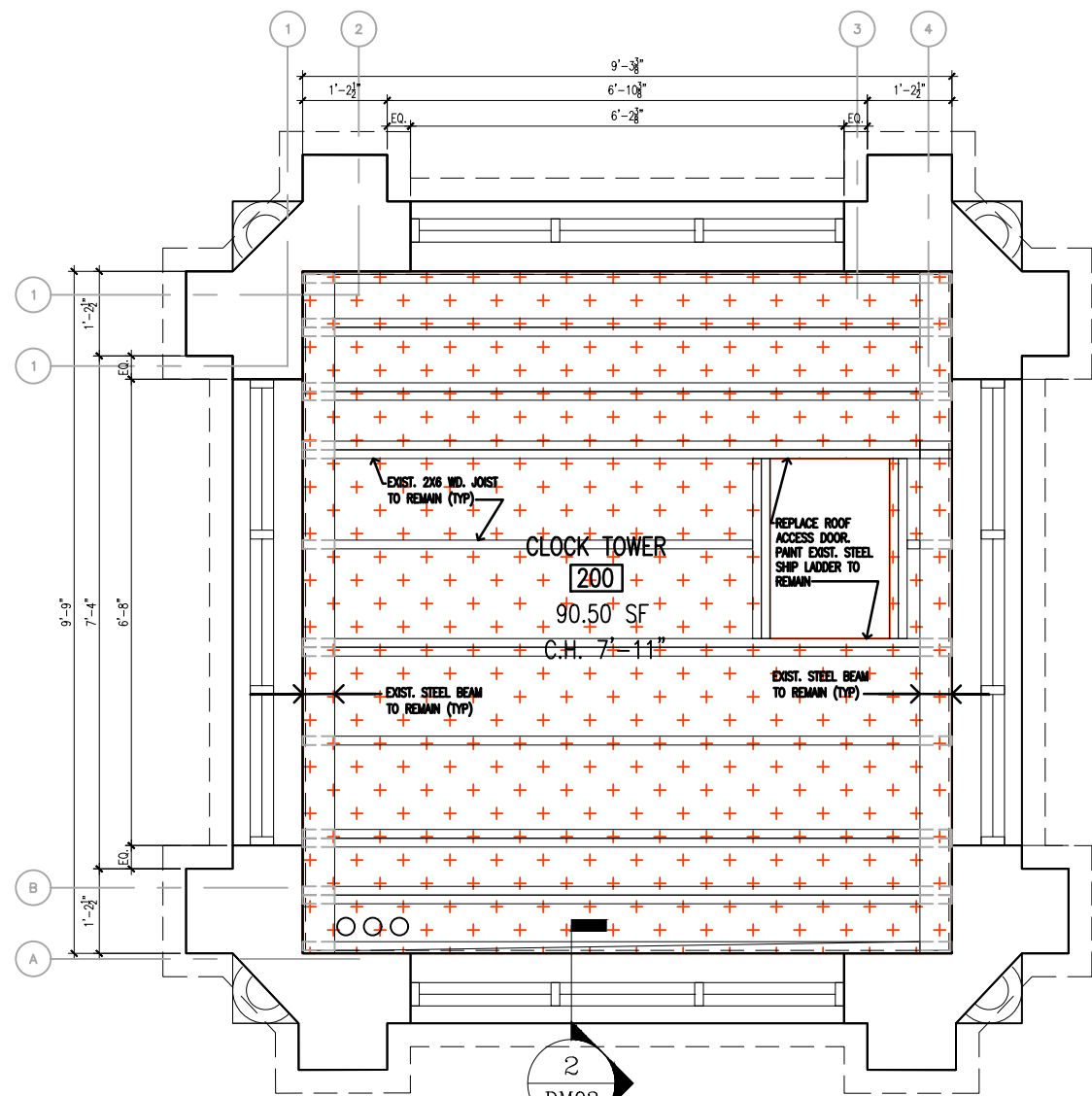
Drawn by: JP  
Checked by: DH  
Manager: DH



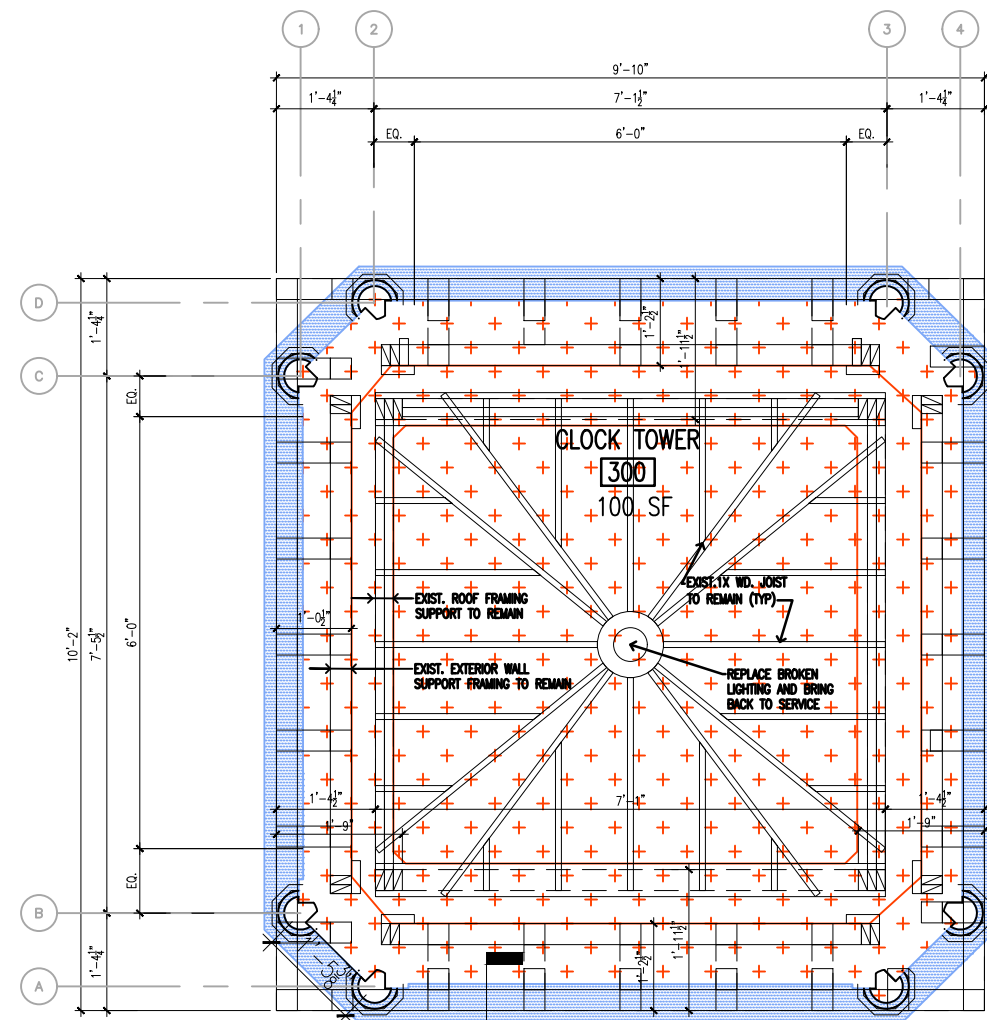
2875 ROUTE 35, SUIT 75-1  
KATONAH, NEW YORK 10536  
TEL (914) 276-0777

SK03





**1** 2ND FLR. CLOCK TOWER- RCP  
SCALE: 3/8" = 1'-0"



**3** 3RD FLR. CLOCK TOWER- RCP  
SCALE: 3/8" = 1'-0"

**RECOMENDED WORK LEGEND:**

- REPLACE AND PAINT DETERIORATED SOFFIT.
- REMOVE PEELING PAINT, MACHINE CLEAN STEEL BEAMS. PREP AND PAINT ALL EXIST JOIST AND DECK



Project: PS 829 STATEN ISLAND AREA OFFICE  
TOWER RED DOT  
Damage Survey: 08/10/2023  
Design No. D022292  
LLW No.: 136055

RED DOT

Drawing Title: 2ND AND 3RD FLOOR RCP PLANS  
Drawing Issue Date: 08/10/2023  
Facility Code: R829

Drawn by: JP  
Checked by: DH  
Manager: DH



2875 ROUTE 35, SUIT 75-1  
KATONAH, NEW YORK 10536  
TEL (914) 276-0777

SK04